

GENERAL ABBREVIATIONS

A/F/F	- ABOVE FINISHED FLOOR
A.F.	- ABOVE FINISHED
ADJ.	- ADJUSTABLE
ARCH.	- ARCHITECTURAL
BAR.	- BARRIER
BB	- BASKETBALL BACKSTOP
BD	- BOARD
BF	- BARRIER FREE
BFF	- BACK FLOW PREVENTER
BFS	- BALMINTON FLOOR SOCKET
B/N/C	- BULL NOSE CORNER
CBS	- CALL BUTTON STATION
CCJ	- COMPARTMENT CONTROL JOINT
CH	- CABINET HEATER
CHB	- CHALK BOARD
CH.TBL.	- CHANGE TABLE
CJ	- CONTROL JOINT
CM	- CONTROL MODULE
COH	- COAT HOOK
COMP.	- COMPRESSIBLE
CONT.	- CONTINUOUS
CP	- CONTROL PANEL
CV	- CONTROL VALVE
CW	- COMPLETE WITH
DBL	- DOUBLE
DC	- DROPPED CURB
DF	- DRINKING FOUNTAIN
DWG.	- DRAWING
DS	- RAIN WATER LEADER
DIST.	- DISTANCE
DISP.	- DISPLAY CASE
ECS	- EMERGENCY CALL SWITCH
ELEV.	- ELEVATION
EPB	- EMERGENCY PUSH BUTTON
EW	- EYE WASH STATION
EX	- EXISTING
EXP.	- EXPOSED
EXIST.	- EXISTING
FB	- FIRE BLANKET
FD	- FLOOR DRAIN
FDG	- FOLD DOWN GRAB BAR
FDTN.	- FOUNDATION
FD/C	- FIRE DEPARTMENT CONNECTION
FEC	- FIRE EXT. CABINET
FE	- FIRE EXTINGUISHER
FDG	- FOLD DOWN GRAB BAR
FLEX.	- FLEXIBLE
FL	- FLOOR
FLING.	- FLOORING
F/R/R	- FIRE RESISTANCE RATING
FS	- FOLD DOWN SHOWER SEAT
FTG.'S	- FOOTINGS
FV	- FIELD VERIFY
GALV.	- GALVANIZED
GB	- GRAB BAR
GD	- GARBAGE DISPOSAL
GEN	- GENERAL
HB	- HOSE BIB
HD	- HAND DRYER
HDCP	- HANDICAPPED
HO	- HOLD OPEN
HORIZ.	- HORIZONTAL
INSUL.	- INSULATION
KP	- KEY PAD
L	- LOCK
M / MIR	- MIRROR
MANUF.	- MANUFACTURED
MAX.	- MAXIMUM
MECH.	- MECHANICAL
MIN.	- MINIMUM
MS	- MOP SINK
NINC	- NOT IN CONTRACT
NO.	- NUMBER
NTS	- NOT TO SCALE
O.H.	- OVER HANG
O.T.A.	- OPEN TO ABOVE
PER(S)	- PERIMETER / PERIMETERS
PB	- POWER OPERATOR BUSH BUTTON
PTD/D	- PAPER TOWEL DISPENSER/DISPENSAL
P/P	- POURED IN PLACE
PRE-FIN.	- PRE-FINISHED
PRES.TR	- PRESERVATIVE TREATED
RCH	- RECESSED CAB HEATER
REQ.'D	- REQUIRED
R.C.P.	- REFLECTED CEILING PLAN
REINF.	- REINFORCED
REF.	- REFERENCE
RD	- ROOF DRAIN
RM	- ROOM
RWL	- RAIN WATER LEADER
SCD	- TOILET SEAT COVER DISPENSER
SCH.'S	- SCHEDULES
SD	- SCUPPER DRAIN
SH	- SOAP HOLDER
SHF	- SHELF
SND	- SANITARY NAPKIN DISPOSAL
SNV	- SANITARY NAPKIN VENDING DISPENSER
SPD	- SOAP DISPENSER
SPECTD	- SPECIFIED
STRUCT.	- STRUCTURAL
SW	- SIDE WALK
TB	- TACK BOARD
TC	- TEACHER'S CABINET/CLOSET
THERM	- THERMAL
TM	- TILED MIRROR
TOB	- TOWEL BAR
TPD	- TOILET PAPER DISPENSER
TYP.	- TYPICAL
UC	- UNDER CUT
US	- UNDER SIDE
VAP.	- VAPOUR
VERT.	- VERTICAL
VFS	- VOLLEYBALL FLOOR SOCKET
W	- WITH
WB	- WHITE BOARD/MARKER BOARD
W.C.	- WHEEL CHAIR
WR	- WASTE RECEPTICLE
/	- PER
%	- PERCENT
@	- AT
O/C	- ON CENTER

MATERIALS ABBREVIATIONS

AB	- ARCHITECTURAL BLOCK
ACT	- ACOUSTIC CEILING TILE
AWP	- ACOUSTIC WALL PANEL
A	- ACOUSTIC TILE
XL	- ALUMINUM
AN	- ANODIZED
AN(C)	- ANODIZED COLOURED
B	- BRICK
B&B	- BOARD & BATTEN
BPS	- BACK PTD. GLASS
CAR	- CARPET
CB	- CONCRETE BLOCK
CEM	- CEMENT BOARD
CET / CT	- CERAMIC TILE
CONC	- CONCRETE
CH	- HARDENED & SEALED CONC.
C(S)	- SEALED CONCRETE
CP	- HARDENED, SEALED & POLISHED CONCRETE
E	- EXPANDED METAL
EP	- EPOXY PAINT & PRIMER
ESF	- EPOXY SEALED FLOORING
ET	- EPOXY TERRAZZO
F	- FIRELITE GLAZING
F T	- FLOCKED TILE (CARPETING)
GB/GYP. BD	- GYPSUM BOARD
GLB	- GLASS BLOCK
GLBL	- GLAZED BLOCK
GLZ	- GLAZING GLASS
GWG	- GEORGIAN WIRE GLAZING
GM	- GYM MAT
GMT	- GLASS MOSAIC TILE
HM	- HOLLOW METAL
HARDWD.	- HARDWOOD
HDS	- HOT DIPPED GALV.
L/C/C	- LEAD COATED COPPER
LINO	- LINOLEUM
LVT	- LUXURY VINYL TILE
LVP	- LUXURY VINYL PLANK
LXG	- LEXAN GLAZING
MAR	- MARMOLEUM
MAS	- MASONRY
MS	- METAL
MTL	- MOVEABLE WALL SYSTEM
MW	- NATURAL EXP'D
NAT.	- NATURAL
PB	- PRECAST CONC.
PC	- PAINTED
P / PTD.	- PREFINISHED
PF	- PLASTER
PL	- PLASTIC LAMINATE
PLAM	- PLYWOOD
PLYWD.	- PIERCED STEEL PLANKING
PSP	- PORCELAIN TILE
PT	- PARQUET FLOORING
PQF	- QUARRY TILE
QT	- RUBBER
R	- RUBBER BASE
RB	- RESILIENT SHEET FLOORING
RSF	- STONE
S	- SAFETY FLOORING
SAF	- SPECIAL COATING
SC	- SPORTS FLOORING
SF	- LAMINATED SAFETY GLASS
SG	- SPIANDREL GLAZING
SGL	- SHEET VINYL FLOORING
SHV	- SOLID SURFACE
S.S.	- SPECIAL COATING
SPC	- STUCCO
ST	- STEEL
STL	- ST. STL. - STAINLESS STEEL
S/S - ST. STL.	- STAINED & VARNISHED
S&V	- TEMPERED GLAZING/GLASS
T	- TEMPERED DOUBLE GLAZING/GLASS
TDG	- TERRAZZO
TBB	- TOP SOIL
TECTUM	- ARTIFICIAL TURF
TERR	- POLYURETHANE
T.S.	- VINYL COATED GYPSUM BOARD
TURF	- VENEER CORE PLYWOOD
U	- VINYL COMPOSITE TILE
VCGB	- VINYL PLANK FLOORING
VCP	- VENTED RUBBER BASE
VCT	- WOOD
VFP	- WATER PROOFING
VR	- WOOD
WD	- WATER PROOFING
WP	- WATER PROOFING

ROOM NAMES

CL	- CLASSROOM
CLR	- COOLER
COM	- COMMUNICATION
CONF	- CONFERENCE
CORR	- CORRIDOR
CTR	- CENTRE
ELEC	- ELECTRICAL
ELEV	- ELEVATOR
ENG	- ENGINEER
EX	- EXISTING
EXIST	- EXISTING
GUID	- GUIDANCE
INST	- INSTRUCTOR
LAB	- LABORATORY
PRACT	- PRACTICE
PRINC	- PRINCIPAL
RECEIV	- RECEIVING
RM	- ROOM
SHWR	- SHOWER
STOR	- STORAGE
VEST	- VESTIBULE
VP	- VICE PRINCIPAL
WR	- WASHROOM

BUILDING OBC MATRIX

FIRM NAME: +VG ARCHITECTS CERTIFICATE OF PRACTICE NUMBER: 3353 50 DALHOUSIE STREET, BRANTFORD, ONTARIO N3T 2H8 TEL (519) 754-1652, FAX (519) 754-0830 THE ARCHITECTURAL FIRM NOTED ABOVE HAS EXERCISED RESPONSIBLE CONTROL WITH RESPECT TO DESIGN ACTIVITIES.																											
NAME & LOCATION OF PROJECT: McNAB / BRAESIDE MUNICIPAL BUILDING 2473 RUSSETT DRIVE, ARNPRIOR, CANADA, ON K7S 3G8																											
PROJECT DESCRIPTION:	2012 OBC, AMENDED JAN. 1ST, 2017	REMARKS																									
(BUILDING USE?)		PART <input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE																									
MAJOR OCCUPANCY(S):	DIV. B - 3.1.2.1. (1)	GROUP D OFFICE																									
BUILDING AREA (m ²) (FOOT PRINT):	DIV. A - 1.1.3.1 DIV. A - 1.4.1.2	<input type="checkbox"/> NEW: 769 m ² <input checked="" type="checkbox"/> TOTAL: 769 m ²																									
GROSS AREA:	DIV. A - 1.1.3.1 DIV. A - 1.4.1.2	MAIN FLOOR: 769 m ² SECOND FLOOR: N/A m ² THIRD FLOOR: N/A m ² TOTAL: 769 m ²																									
NUMBER OF STOREYS	DIV. B - 3.2.1.1 DIV. A - 1.4.1.2	ABOVE GRADE: 1 STOREY. BELOW GRADE: N/A																									
HEIGHT OF BUILDING(m):	5.35m (FIN. FLOOR TO U/S. HIGHEST ROOF DECK)																										
HIGH BUILDING:	DIV. B - 3.2.6.1	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO																									
NUMBER OF STREETS/ ACCESS ROUTES:		1 STREET REQUIRED																									
BUILDING CLASSIFICATION:	DIV. B - 3.2.2.55	GROUP D, UP TO 2 STOREYS. FACING 1 STREET, NOT MORE THAN 1000 m ² AREA. (1) A building classified as Group D is permitted to conform to Sentence (2) provided: (a) it is not more than 2 storeys in building height, and (b) it has a building area not more than the value in table 3.2.2.55.																									
Table 3.2.2.55 Maximum Building Area, Group D, up to 2 Storeys Forming Part of Sentence 3.2.2.55.(1)																											
<table border="1"> <thead> <tr> <th>Item</th> <th>Column 1</th> <th>Column 2</th> <th>Column 3</th> <th>Column 4</th> </tr> <tr> <th></th> <th>No. of Storeys</th> <th colspan="3">Maximum Area, m²</th> </tr> <tr> <th></th> <th></th> <th>Facing 1 Street</th> <th>Facing 2 Streets</th> <th>Facing 3 Streets</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>1</td> <td>1,000</td> <td>1,200</td> <td>1,500</td> </tr> <tr> <td>2</td> <td>2</td> <td>800</td> <td>1,000</td> <td>1,200</td> </tr> </tbody> </table>			Item	Column 1	Column 2	Column 3	Column 4		No. of Storeys	Maximum Area, m ²					Facing 1 Street	Facing 2 Streets	Facing 3 Streets	1	1	1,000	1,200	1,500	2	2	800	1,000	1,200
Item	Column 1	Column 2	Column 3	Column 4																							
	No. of Storeys	Maximum Area, m ²																									
		Facing 1 Street	Facing 2 Streets	Facing 3 Streets																							
1	1	1,000	1,200	1,500																							
2	2	800	1,000	1,200																							
(2) The building referred to in Sentence (1) is permitted to be of combustible construction or noncombustible construction used singly or in combination, and: (a) floor assemblies shall be fire separations and, if of combustible construction, shall have a fire-resistance rating not less than 45 min, and (b) loadbearing walls, columns and arches supporting an assembly required to have a fire-resistance rating shall: (i) have a fire-resistance rating not less than 45 min, or (ii) be of noncombustible construction.																											
SPRINKLER SYSTEM PROPOSED:	DIV. B - 3.2.1.5 DIV. B - 3.2.2.17 DIV. B - 3.2.2.20-83	<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input checked="" type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED																									
STANDPIPE REQUIRED:	DIV. B - 3.2.9.1	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO																									
FIRE ALARM REQUIRED:	DIV. B - 3.2.4.1	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (NOT REQUIRED BUT PROVIDED)																									
WATER SERVICE/SUPPLY IS ADEQUATE:		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO																									
PERMITTED CONSTRUCTION:	DIV. B - 3.2.2.27	<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON COMBUSTIBLE <input checked="" type="checkbox"/> BOTH																									
ACTUAL CONSTRUCTION:		<input checked="" type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON COMBUSTIBLE <input type="checkbox"/> BOTH																									
MEZZANINE(S):		N/A.																									
TOTAL OCCUPANCY LOADING:		<input checked="" type="checkbox"/> m ² /PERSON (FOR OFFICE AREA)																									
1 STOREYS	DIV. B - 3.1.17.1(c)	THE NUMBER OF PERSONS FOR WHICH THE AREA IS DESIGNED, IN COUNCIL CHAMBER & LOBBY (POSTED SIGN)																									
OCCUPANT LOAD:		COUNCIL CHAMBER + LOBBY 150 PERSONS OFFICES 25 PERSONS TOTAL 175 PERSONS																									
- COUNCIL CHAMBER + LOBBY AREA BASED ON NUMBER OF WASHROOMS PROVIDED (3.7.4.3) 3 FOR FEMALE & 2 FOR MALE - MAX. 75 MALE & 75 FEMALE TOTAL MAX. 150 PERSONS																											
- OFFICES = 225 (SQ.M) / 9.30 (SQ.M/PERSON) = 25 PERSONS																											
PLUMBING FIXTURES:	ASSEMBLY OCCUPANCY DIV. B - 3.7.4.3 (A)	NUMBER OF WATER CLOSETS REQUIRED FOR OFFICES: 17 PERSONS / 2 = 9 PERSONS OF EACH SEX 1 FOR MALES + 1 FOR FEMALES																									
BARRIER-FREE DESIGN:	DIV. B - 3.8	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)																									
HAZARDOUS SUBSTANCES:	DIV. A - 1.4.1.2	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO																									
TRAVEL DISTANCE TO EGRESS & EXIT DOORS: (COORD. W/ LIFE SAFETY DWG.S)	DIV. B - 3.3.1.5(1)(c) DIV. B - 3.3.1.5.A DIV. B - 3.3.1.5 (2) DIV. B - 3.3.1.6 DIV. B - 3.4.2.5(1)(b) DIV. B - 3.4.2.3(1)(b)	EGRESS DOORS: SINGLE EGRESS DOOR FROM ROOM OR SUITE: MAX. TRAVEL DISTANCE = 15m AREA TO BE LESS THAN 150 m ² MORE THAN ONE EGRESS DOOR FROM ROOM / SUITE (IN COUNCIL CHAMBER): DISTANCE BETWEEN EGRESS DOORS SHALL BE EQUAL TO OR GREATER THAN 1/3 THE DIAGONAL OF THE ROOM MAX. TRAVEL DISTANCE TO EGRESS = 40 m EXIT DOORS: MAX. TRAVEL DISTANCE TO AT LEAST ONE EXIT = 40 m MORE THAN ONE EXIT REQUIRED. DISTANCE BETWEEN EXIT DOORS SHALL BE MORE THAN 1/2 OF DIAGONAL DIMENSION OF THE FLOOR AREA, BUT NOT LESS THAN 9m.																									
FIRE EXTINGUISHERS:	DIV. B - 3.2.5.17	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO																									

REQUIRED FIRE RESISTANCE RATING (FRR):	ASSEMBLIES FRR (HOURS):	LISTED DESIGN NUMBER:
FLOORS:	N/A	DIV. B - 3.2.2.27
ROOF:	0 HR	DIV. B - 3.2.2.27
MEZZANINE:	N/A	DIV. B - 3.2.2.27
FRR OF SUPPORTING MEMBERS:	N/A	DIV. B - 3.2.2.27
FLOORS:	N/A	DIV. B - 3.2.2.27
ROOF:	N/A	DIV. B - 3.2.2.27
MEZZANINE:	N/A	DIV. B - 3.2.2.27

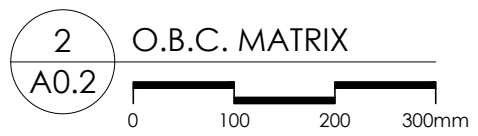
SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS		DIV. B - 3.2.3.							
WALL	AREA OF E.B.F. (m ²)	L/D OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	F.R.R. (hrs)	LISTED DESIGN OR DESCRIPTION	COMB. CONSTR.	COMB. CONSTR. NONCOMB. CLADDING	NON COMB. CONSTRUCTION
NORTH	146	9m	3:1-10:1	50%	46%	N/A	N/A	YES	NON-COMBUSTIBLE N/A
SOUTH	156	885m	3:1-10:1	100%	42%	N/A	N/A	YES	NON-COMBUSTIBLE N/A
EAST	222	8m	3:1-10:1	28%	27%	N/A	N/A	YES	NON-COMBUSTIBLE N/A
WEST	124	57m	13:1	100%	11%	N/A	N/A	YES	NON-COMBUSTIBLE N/A

GENERAL NOTES:
 1. ALL WORK TO CONFORM TO THE CURRENT 2012 ONTARIO BUILDING CODE AS AMENDED JANUARY 1, 2015.
 2. ALL CRITICAL BARRIER FREE DIM.'S TO COMPLY W/ OBC & ANY APPLICABLE ACCESSIBILITY BY LAWS OF THAT SPECIFIC REGION. O.B.C. BARRIER FREE REQ.'S ARE TO BE REVIEWED & CONFIRMED BY THE GENERAL CONTRACTOR ON SITE THAT ALL DIM.'S & MIN. CLEARANCES ARE PROVIDED. INFORM THE ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLING WORK & OBTAIN SUPPLEMENTAL INSTRUCTIONS FROM THE ARCHITECT BEFORE PROCEEDING W/ ANY PART OF THE AFFECTED WORK.

BARRIER-FREE DOORS & DOORWAYS:
 DIMENSIONS: EVERY DOORWAY THAT IS LOCATED IN A BARRIER-FREE PATH OF TRAVEL SHALL HAVE A MINIMUM CLEAR WIDTH OF NOT LESS THAN 860mm WHEN THE DOOR IS IN THE OPEN POSITION (PROVIDE STD. DOOR LEAF OF NOT LESS THAN 1020mm, SMALLER WHERE NOT ABLE).
 UNLESS EQUIPPED W/ A POWER DOOR OPERATOR, A DOOR IN A BARRIER-FREE PATH OF TRAVEL SHALL HAVE A CLEAR SPACE ON THE LATCH SIDE EXTENDING THE HEIGHT OF THE DOORWAY & NOT LESS THAN 650mm BEYOND THE EDGE OF THE DOOR OPENING IF THE DOOR SWINGS TOWARD THE APPROACH SIDE & 350mm BEYOND THE EDGE IF THE DOOR SWINGS AWAY FROM THE APPROACH SIDE.

POWER DOOR OPERATORS:
 EVERY DOOR THAT PROVIDES A BARRIER-FREE PATH OF TRAVEL THROUGH AN ENTRANCE SHALL BE EQUIPPED W/ A POWER DOOR OPERATOR, WHERE AN ENTRANCE INCORPORATES A VESTIBULE, A DOOR LEADING FROM THE VESTIBULE INTO THE FLOOR AREA SHALL BE EQUIPPED W/ A POWER DOOR OPERATOR.
 THE CONTROL FOR A POWER DOOR OPERATOR SHALL HAVE NO FACE DIMENSION LESS THAN 100mm, HAVE ITS CENTER LOCATED @925mm A/F/F. BE LOCATED NOT LESS THAN 610mm MIN. FROM THE END OF ANY DOOR SWING TO THE CLOSEST EDGE OF THE BOTTOM WHEN THE DOOR OPENS INTO THE ADJACENT ROOM, THE CONTROL ON THAT SIDE OF THE DOOR SHALL BE LOCATED NOT LESS THAN 310mm FROM THE DOOR FRAME TO THE CLOSEST EDGE OF THE BOTTOM.
 DOOR OPENING DEVICES THAT ARE THE ONLY MEANS OF OPERATION SHALL BE OF A DESIGN THAT DOES NOT REQUIRE TIGHT GRASPING & TWISTING OF THE WRIST.

VISION STRIPS:
 ALL DOORS IN A BARRIER-FREE PATH OF TRAVEL CONSISTING OF A SHEET OF GLASS SHALL BE MARKED W/ A CONT. OPAQUE STRIP THAT SHALL BE COLOUR & BRIGHTNESS CONTRASTED TO THE BACKGROUND OF THE DOOR, SHALL BE AT LEAST 50mm WIDE, SHALL BE LOCATED ACROSS THE WIDTH OF THE DOOR @ A HEIGHT OF 1350mm TO 1500mm A/F/F. (ACCESSIBILITY BY LAWS OF THAT SPECIFIC REGION MAY REQUIRE TWO VISION STRIPS).



3 SITE / KEY PLAN
A0.2

REVISIONS

NO.	DATE	PARTICULAR
1	2017.08.21	ISSUED FOR BUILDING PERMIT & TENDER
2	2017.08.22	ISSUED FOR CLIENT REVIEW
3	2017.10.06	ISSUED FOR CLIENT REVIEW
4	2017.10.12	ISSUED FOR TENDER

NOTES:

PRELIMINARY
 NOT TO BE USED FOR CONSTRUCTION



CLIENT:
TOWNSHIP OF McNAB / BRAESIDE

PROJECT:
21688
McNAB / BRAESIDE MUNICIPAL BUILDING
2473 RUSSETT DRIVE, ARNPRIOR, ONTARIO K7S 3G8

ORIGINAL PAGE SIZE ARCH D - 24" x 36"
 KEY TO DETAIL LOCATION:
 A - DETAIL NO.
 B - DETAIL NO. ORIGIN

+VG ARCHITECTS
 THE VENTIN GROUP LTD

A0.2

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ABBREVIATIONS & OBC MATRIX

Plot Date: Oct 12, 2017 - 12:03pm By: User

Filename: C:\Users\User\AppData\Local\Temp\Temp1\M&B_TownHall - A0.2 & A0.2A - Standard.dwg