



Service entry at HWY Frontage (above)  
Northeast Corner at Patio (below)



Southwest Corner at HWY Frontage

1. Copyright of this drawing is reserved by the Architect. The drawing and all associated documents are an instrument of service by the Architect. The drawing and the information contained therein may not be reproduced in whole or in part without prior written permission of the Architect.

2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written request, the Architect will provide written clarification. The Contractor will provide supplementary information regarding the intent of the Contract Documents. The Architect will review shop drawings submitted by the Contractor for design conformance only.

3. Drawings are not to be scaled for construction. The contractor is to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the contract documents to the Architect before commencing any work.

4. Locations of proposed finished mechanical or electrical devices, fittings, and fixtures are indicated on architectural drawings. The locations shown on the architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

5. These drawings are not to be used for construction unless noted below as "Issuance For Construction".

6. All work is to be carried out in conformance with the Code and Bylaws of the jurisdiction having jurisdiction.

7. The Architect of these plans and specifications gives no warranty or representation to any party about the non-responsibility of the buildings represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

© Aside Architects, 2015

ISSUANCE	DATE DD/MM/YY
1	Coordination 1 May 23rd, 2015
2	Coordination 2 Aug 14th, 2015
3	Coordination 3 Sept 4th, 2015
4	Coordination 4 Sept 19th, 2015
5	Coordination 5 Sept 25th, 2015
6	PERMIT SET OCT 9th, 2015

# WHITEWATER BREWING COMPANY



aside architects  
FR205-33 Beaver Lake  
Rd., RR#1  
Trent Lakes, ON., K0L 1J0  
neil@asidearchitects.ca  
andy@asidearchitects.ca  
P. 705 812 2451  
C. 416 841 6963  
C. 613 406 5254

project contact: Andy Thomson



**Whitewater Brewery**  
project # 2014-003  
**Whitewater Brewing Company**  
Hwy 17  
Cobden, ON

Title Sheet +  
Index  
**A0.01**

ID	Name	Notes
A0.01	Title Sheet + Index	
A0.02	Notes	
A0.03	OBC Matrix	
A1.01	Siteplan	
A1.02	CIVIL	By JLR
A2.01	Foundation Plan	
A2.02	Ground Floor Plan	
A2.03	Second Floor Plan	
A2.04	Roof Plan	
A4.01	North & South Elevations	
A4.02	East & West Elevations	
A5.01	Building Sections 1/3	
A5.02	Building Sections 2/3	
A5.03	Building Sections 3/3	
A6.01	Wall Sections 1/2	
A6.02	Structural Details	
A7.01	Interior Elevations 1/2	
A7.02	Interior Elevations 2/2	
A8.01	Window & Schedules	
A9.01	3D Sketches 1/2	
A9.02	3D Sketches 1/2	
A9.03	3D Sketches 2/2	

## Consultants

**Architect**  
Aside Architects  
Neil Campbell, OAA  
Andy Thomson, M.Arch (613)406-5254

**Structural Engineer**  
Cleland Jardine Engineering Ltd.  
580 Terry Fox Drive  
Ottawa, ON K2L 4B9  
613-591-1533

**Civil Engineer**  
JL Richards & Associates, Ltd.  
864 Lady Ellen Place  
Ottawa, ON K1Z 5M2  
Tel: 613-728-3571  
Fax: 613-728-6012

**Landscape**  
N/A

**Mechanical & Electrical Engineer**  
-

**Construction Management**  
Tal-Co Limited  
1341-2 Coker Street  
Greely, ON K4P-1A1  
613.821.3959

## Stats

NEW COBDEN SITE HWY 17  
LOT AREA: 8690m<sup>2</sup>  
BUILDING AREA: 637m<sup>2</sup> (OBC:3.2.2.25)  
OCCUPANCY TYPE: A2 (BREWERY & DINING)

**PARKING CALCULATION**  
COBDEN ZONING REQ'D PLACES  
EATING ESTABLISHMENT 1 STALL/4 PERSONS  
OCCUPANCY OF DINING HALL: 122m<sup>2</sup>, 122/1.1=110PPL  
(OBC: 3.1.17.1 OCCUPANT LOAD: 1.1m<sup>2</sup>/PP)  
110PPL/4 = 28 PATRON STALLS REQ'D.\*  
'OTHER' USES: 1 STALL/37m<sup>2</sup>, 637m<sup>2</sup>-122m<sup>2</sup>= 512m<sup>2</sup>/  
37= 14 STAFF STALLS REQ'D

\*3 BARRIER-FREE SPACES PROVIDED AT PRIMARY ENTRY. DEPRESSED CURBS AT ENTRY TO MAIN DINING HALL. POWER-DOOR OPERATORS REQUIRED (1), PROVIDED (2)

TOTAL NEW PARKING SPACES REQ'D = 28+14= 42

**BICYCLE PARKING**  
NEW SPACES (0 RACKS) 0

## Keyplan: Cobden



© M. Gas



Item	Ontario Building Code Data Matrix Parts 3 & 9						OBC Reference				
1	<b>Project Description:</b> <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Alteration						<input type="checkbox"/> Part 11	<input checked="" type="checkbox"/> Part 3	<input type="checkbox"/> Part 9		
							11.1 - 11.4	1.1.2[A]	2.1.1 9.10.1.3		
2	<b>Major Occupancy(s)</b> A						3.1.2.1.(1)		9.10.2		
3	<b>Building Area (m<sup>2</sup>)</b>		Existing	New	637	Total	637	1.4.1.2[A]		1.4.1.2[A]	
4	<b>Gross Area</b>		Existing	New	703	Total	703	1.1.3.2		1.1.3.2	
5	<b>Number of Storeys</b>		Above grade	2	Below grade	N/A		3.2.1.1 & 1.1.3.2			
<i>New Slab-on-grade construction with 66m<sup>2</sup> mezzanine level</i>											
6	<b>Number of Streets/Access Routes</b> 1						3.2.2.10 & 3.2.5.5		9.10.20		
7	<b>Building Classification</b> 3.2.2.25						3.2.2.20.83		9.10.20		
8	<b>Sprinkler System Proposed</b> <input type="checkbox"/> entire building <input type="checkbox"/> basement only <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> not required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.2.2.20.83				
							3.2.1.5				
9	<b>Standpipe required</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.2.2.17				
							3.2.9				
10	<b>Fire Alarm required:</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.2.4		9.10.7.2		
11	<b>Water Service/Supply is Adequate</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No						3.2.5.7				
12	<b>High Building</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.2.6				
13	<b>Permitted Construction</b> <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible						3.2.2.20.83		9.10.6		
	<b>Actual Construction</b> <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible										
14	<b>Mezzanine(s) Area m<sup>2</sup>:</b> 66m <sup>2</sup>						3.2.1.1.(3)(8)		9.10.6		
15	<b>Occupant load based on</b> <input checked="" type="checkbox"/> m <sup>2</sup> /person <input type="checkbox"/> design of building						3.1.17.1		9.9.1.3		
	Basement:		Occupancy	Load		_____ persons					
1 <sup>st</sup> Floor		Occupancy	A2		Load 110		persons				
2 <sup>nd</sup> Floor		Occupancy	_____		Load _____		persons				
3 <sup>rd</sup> Floor		Occupancy	_____		Load _____		persons				
16	<b>Barrier-free Design</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)						3.8		9.5.2		
17	<b>Hazardous Substances</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.3.1.2. & 3.3.1.19		9.10.1.3(4)		
18	<b>Required Fire Resistance Rating (FRR)</b>	<b>Horizontal Assemblies</b>		Listed Design No. or Description (SG-2)		3.2.2.20.83 & 3.2.1.4		9.10.8			
		<b>FRR (Hours)</b>						9.10.9			
	Floors 45min		Roof Waived		Mezzanine 45min		Fire-retardant treated wood roof system per 3.1.14.1 UL P522 or GA-RC-2604		3.2.2.25.(2)(c)(i)		
	Floors n/a		Roof n/a		Mezzanine 45min		Listed Design No. Or Description (SG-2)		3.2.2.25.(2)(a)		
19	<b>Spatial Separation - Construction of Exterior Walls</b>						3.2.3		9.10.14		
	Wall	Area of EBF (m <sup>2</sup> )	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb Const	Comb. Constr. Nonc. Cladding	Non-comb. Constr.
	North	000	000	000	00%	00%	000	00.00.00	N	Y	N
	South	000	000	000	00%	00%	000	00.00.00	N	Y	N
	East	000	000	000	00%	00%	000	00.00.00	N	Y	N
	West	000	000	000	00%	00%	000	00.00.00	N	Y	N
20	<b>Plumbing Fixture Requirements</b>						OBC Ref: Part 3		Part 9		
Male/Female Count : 50% / 50%, except as noted otherwise											
						Occupant Load	BC Table Number	Fixtures Required	Fixtures Provided	9.9.9.9	
1 <sup>st</sup> Floor: Occupancy						110	3.7.4.3.A	2m/3f	3m/3f	3.7.4.2.	
1 <sup>st</sup> Floor: Occupancy (staff 1-9)						9/110	3.7.4.3.F	1m/1f	1m/1f		
(Adjust as req'd for additional floors or occupancies)											

1. Copyright of this drawing is reserved by the Architect. The drawing and all associated documents are an instrument of service by the Architect. The drawing and the information contained therein may not be reproduced in whole or in part without prior written permission of the Architect.

2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written request, the Architect will provide written clarification. Upon supplementary information regarding the intent of the Contract Documents, the Architect will review shop drawings submitted by the Contractor for design conference only.

3. Drawings are not to be used for construction. The contractor is to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the contract documents to the Architect before commencing any work.

4. Locations of proposed finished mechanical or electrical devices, fittings, and fixtures are indicated on architectural drawings. The locations shown on the architectural drawings govern over the mechanical and electrical drawings. These items not clearly located will be located as directed by the Architect.

5. These drawings are not to be used for construction unless noted below as "Issuance For Construction".

6. All work is to be carried out in conformance with the Code and Bylaws of the jurisdiction having jurisdiction.

7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

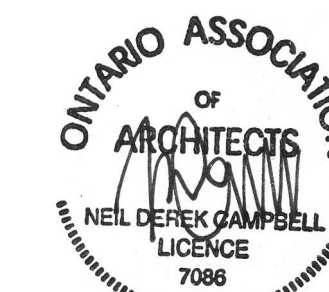
© Aside Architects, 2015

ISSUANCE	DATE DD/MM/YY
1 Coordination	May 23rd, 2015
2 Coordination 2	Aug 14th, 2015
3 Coordination 3	Sept 4th, 2015
4 Coordination 4	Sept 19th, 2015
5 Coordination 5	Sept 25th, 2015
5 PERMIT SET	OCT 9th, 2015
6	



aside architects  
 FR205-33 Beaver Lake  
 Rd., RR#1  
 Trent Lakes, ON., K0L 1J0  
 neil@asidearchitects.ca  
 andy@asidearchitects.ca  
 P. 705 812 2451  
 C. 416 841 6963  
 C. 613 406 5254

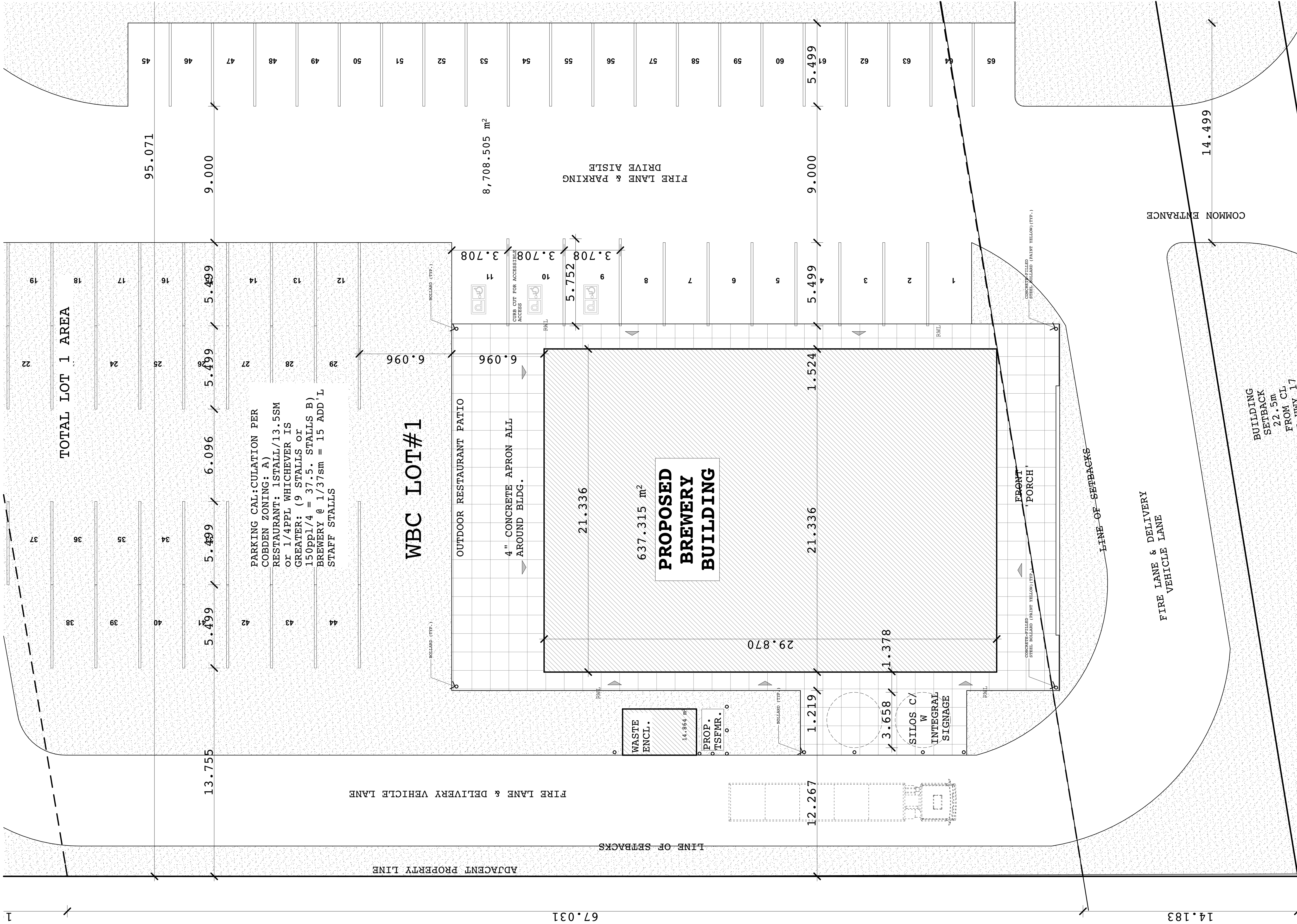
project contact: Andy Thomson



**Whitewater Brewery**  
 project # 2014-003  
 Whitewater Brewing  
 Company  
 Hwy 17  
 Cobden, ON

OBC Matrix

**A0.03**



1. Copyright of this drawing is reserved by the Architect. The drawing and all associated documents are an instrument of service by the Architect. The drawing and the information contained therein may not be reproduced in whole or in part without prior written permission of the Architect.

2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon acceptance of the Contract Documents, the Contractor shall provide written clarification of any supplementary information regarding the intent of the Contract Documents. The Architect will review shop drawings submitted by the Contractor for design conformance only.

3. Drawings are not to be used for construction. The contractor is to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the contract documents to the Architect before commencing any work.

4. Locations of proposed finished mechanical or electrical devices, fittings, and fixtures are indicated on architectural drawings. The locations shown on the architectural drawings govern over the mechanical and electrical drawings. These items not clearly located will be located as directed by the Architect.

5. These drawings are not to be used for construction unless noted below as "Issuance for Construction".

6. All work is to be carried out in conformance with the Code and Bylaws of the jurisdiction having jurisdiction.

7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the buildings represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

© Aside Architects, 2015

ISSUANCE	DATE DD/MM/YY
1 Coordination 1	May 23rd, 2015
2 Coordination 2	Aug 14th, 2015
3 Coordination 3	Sept 4th, 2015
4 Coordination 4	Sept 19th, 2015
5 Coordination 5	Sept 25th, 2015
6 PERMIT SET	OCT 9th, 2015



aside architects  
 FR205-33 Beaver Lake  
 Rd., RR#1  
 Trent Lakes, ON., K0L 1J0  
 neil@asidearchitects.ca  
 andy@asidearchitects.ca  
 P. 705 812 2451  
 C. 416 841 6963  
 C. 613 406 5254

project contact: Andy Thomson



**Whitewater Brewery**  
 project # 2014-003  
 Whitewater Brewing  
 Company  
 Hwy 17  
 Cobden, ON

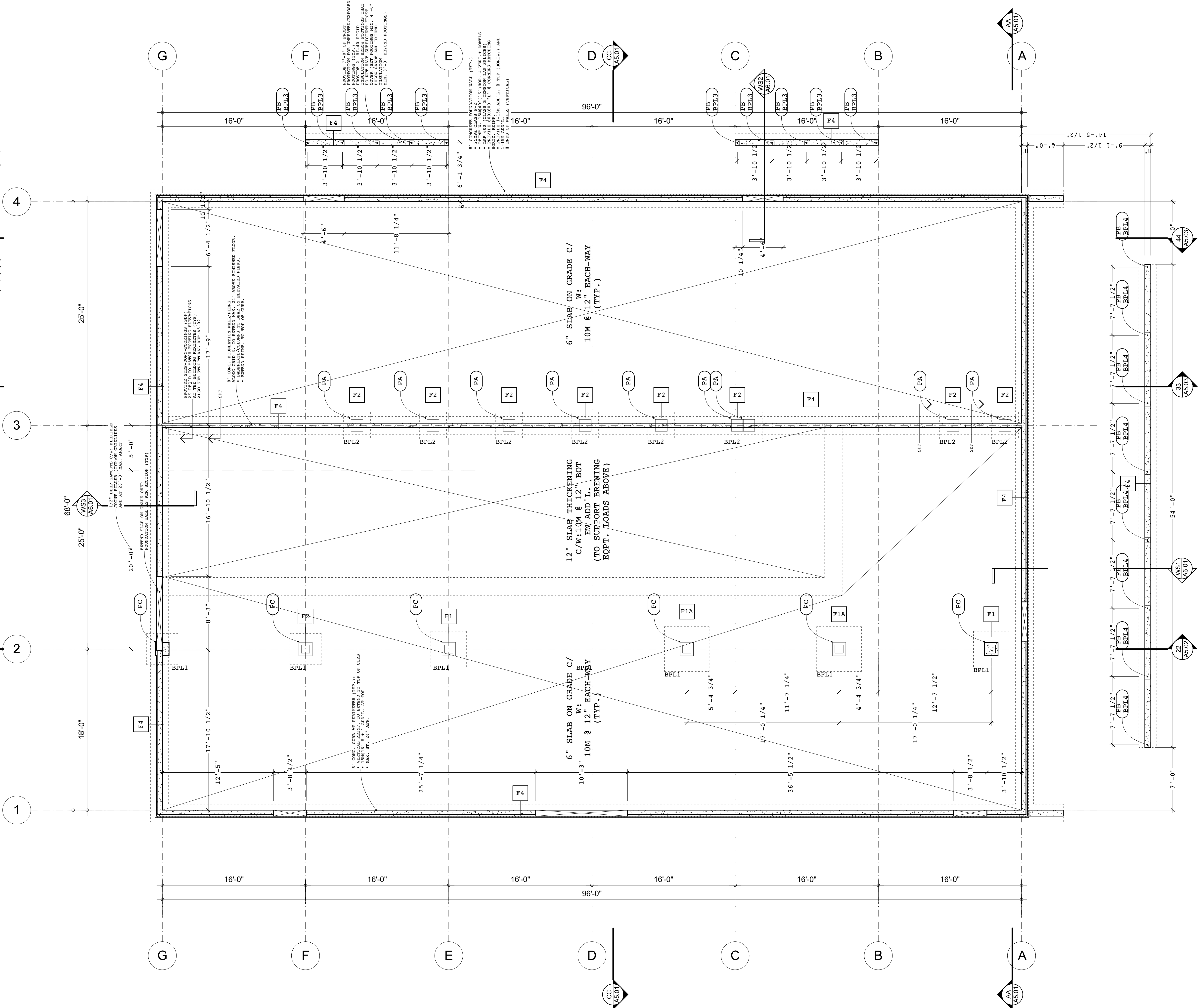
1" = 10'  
**Siteplan**

**A1.01**

**STRUCTURAL NOTES:**

- FOOTINGS**
- \*ASSUMED BEARING CAPACITIES:  
SLS: 100kPa  
ULS: 150kPa
  - \*BEARING CAPACITIES AND SOIL CONDITIONS TO BE VERIFIED AND APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO FOOTING CONSTRUCTION.
  - \*INTERIOR FOOTINGS DO NOT REQUIRE FROST PROTECTION
  - \*UNDERSIDE OF FOOTINGS AT GRIDLINES B-2 TO F-2 TO BE SET -36" BELOW FINISHED FLOOR.
  - FOOTINGS ALONG GRIDLINE 3 MAY STEP UP TO -36" BELOW FINISHED FLOOR.
  - FOOTINGS TO NOT UNDERMINE ADJACENT FOOTINGS.

- F1A: 60" x 60" x 12" C/W 6-15M BEW  
 F1: 48" x 48" x 12" C/W 5-15M BEW  
 F2: 42" x 42" x 12" C/W 4-15M BEW  
 F3: 30" x 30" x 12" C/W 4-15M BEW  
 F4: 24" WIDE X 12" DEEP C/W 3-15M BOTTOM CONTINUOUS
- \*SET PERIMETER (F4) FOUNDATIONS MIN. 5'-0" BELOW FINISHED GRADE FOR FROST PROTECTION



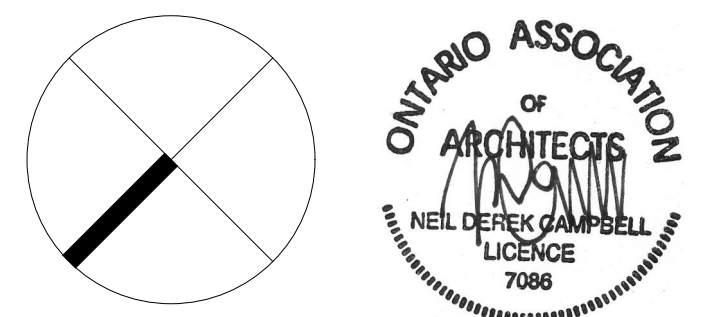
- Copyright of this drawing is reserved by the Architect. The drawing and all associated documents are an instrument of service by the Architect. The drawing and the information contained therein may not be reproduced in whole or in part without prior written permission of the Architect.
- These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon completion of the project, the Contractor shall provide written confirmation of the Architect's approval of the Contractor's interpretation of the Contract Documents.
- Drawings are not to be used for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the Contract Documents to the Architect before commencing any work.
- Locations of proposed finished mechanical or electrical devices, fittings, and fixtures are indicated on architectural drawings. The locations shown on the architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.
- These drawings are not to be used for construction unless noted below as "Issued For Construction".
- All work is to be carried out in accordance with the Code and Bylaws of the jurisdiction having jurisdiction.
- The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the buildings represented by them. All contractors and subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.
- © Aside Architects, 2015

ISSUANCE	DATE DD/MM/YY
1 Coordination	May 23rd, 2015
2 Coordination 2	Aug 14th, 2015
3 Coordination 3	Sept 4th, 2015
4 Coordination 4	Sept 19th, 2015
5 Coordination 5	Sept 25th, 2015
6 PERMIT SET	OCT 9th, 2015



aside architects  
 FR205-33 Beaver Lake  
 Rd., RR#1  
 Trent Lakes, ON., K0L1J0  
 neil@asidearchitects.ca  
 andy@asidearchitects.ca  
 P. 705 812 2451  
 C. 416 841 6963  
 C. 613 406 5254

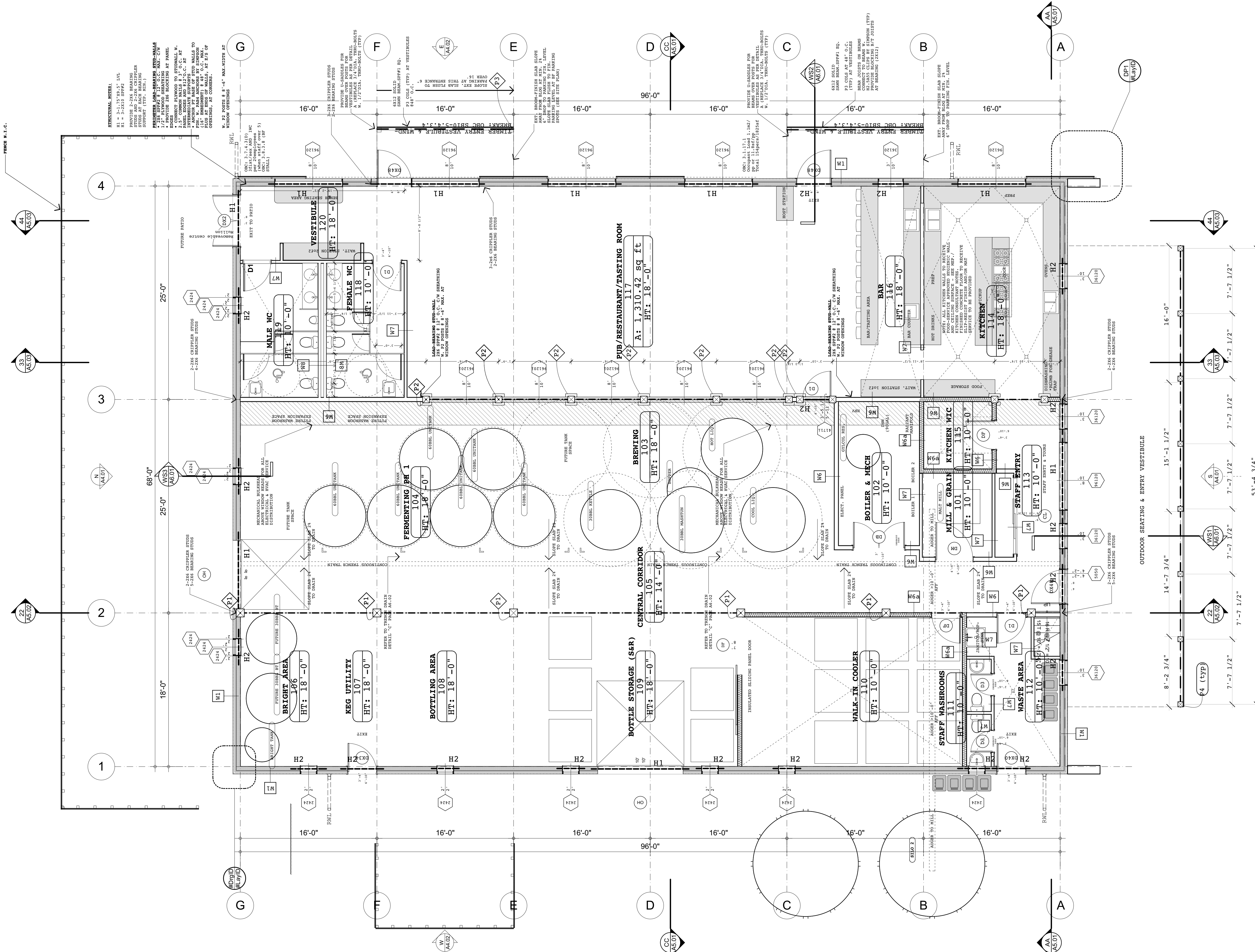
project contact: Andy Thomson



**Whitewater Brewery**  
 project # 2014-003  
 Whitewater Brewing  
 Company  
 Hwy 17  
 Cobden, ON

Foundation Plan

**A2.01**



1. Copyright of this drawing is reserved by the Architect. The drawing and all associated documents are an instrument of service by the Architect. The drawing and the information contained therein may not be reproduced in whole or in part without prior written permission of the Architect.

2. These Contract Documents shall remain the property of the Architect. The Architect shall not be responsible for the interpretation of these documents by the Contractor. Upon completion of the project, the Contractor shall return to the Architect all original documents, including but not limited to, drawings, specifications, and contract documents. The Architect shall review and approve any drawings submitted by the Contractor for design and construction.

3. The Contractor shall not be held liable for construction unless noted below as "Assurance for Construction".

4. All work is to be carried out in accordance with the Code and Bylaws of the applicable jurisdiction.

5. The Architect of these plans and specifications gives no warranty or representation as to the accuracy or completeness of the information represented by them. All contractors and subcontractors must satisfy themselves as to the accuracy and completeness of the information represented by these plans.

6. All work is to be carried out in accordance with the Code and Bylaws of the applicable jurisdiction.

7. The Architect of these plans and specifications gives no warranty or representation as to the accuracy or completeness of the information represented by them. All contractors and subcontractors must satisfy themselves as to the accuracy and completeness of the information represented by these plans.

8. All work is to be carried out in accordance with the Code and Bylaws of the applicable jurisdiction.

9. The Architect of these plans and specifications gives no warranty or representation as to the accuracy or completeness of the information represented by them. All contractors and subcontractors must satisfy themselves as to the accuracy and completeness of the information represented by these plans.

10. All work is to be carried out in accordance with the Code and Bylaws of the applicable jurisdiction.

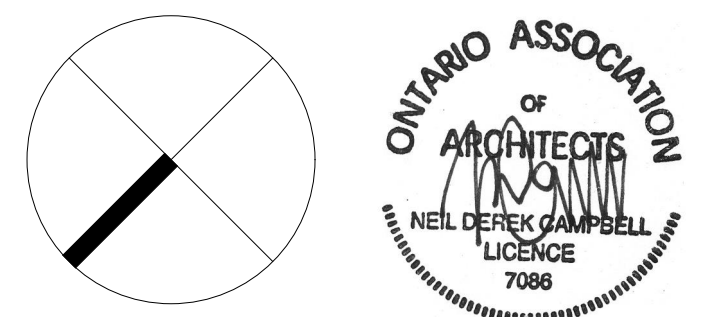
ISSUANCE	DATE DD/MM/YY
1 Coordination	May 23rd, 2015
2 Coordination 2	Aug 14th, 2015
3 Coordination 3	Sept 4th, 2015
4 Coordination 4	Sept 19th, 2015
5 Coordination 5	Sept 25th, 2015
6 PERMIT SET	OCT 9th, 2015

DD Program Schedule			
#	Room Name	Area	Ht.
101	MILL & GRAIN	79.67	10'-0"
102	BOILER & MECH	166.78	10'-0"
103	BREWING	598.71	18'-0"
104	FERMENTING PH 1	716.48	18'-0"
105	CENTRAL CORRIDOR	576.00	14'-0"
106	BRIGHT AREA	172.26	18'-0"
107	KEG UTILITY	144.00	18'-0"
108	BOTTLING AREA	316.26	18'-0"
109	BOTTLE STORAGE (S&R)	416.07	18'-0"
110	WALK-IN COOLER	477.00	10'-0"
111	STAFF WASHROOMS	34.02	10'-0"
112	WASTE AREA	135.81	10'-0"
113	STAFF ENTRY	144.16	10'-0"
114	KITCHEN	393.64	18'-0"
115	KITCHEN WIC	65.92	10'-0"
116	BAR	172.67	18'-0"
117	PUB/RESTAURANT/TASTING ROOM	1,310.42	18'-0"
118	FEMALE WC	156.08	10'-0"
119	MALE WC	142.24	10'-0"
120	VESTIBULE	169.74	18'-0"
200	LAB	161.17	8'-0"
201	OFFICE	552.52	8'-0"
		<b>7,101.62 sq ft</b>	



aside architects  
 FR205-33 Beaver Lake Rd., RR#1  
 Trent Lakes, ON., K0L1J0  
 neil@asidearchitects.ca  
 andy@asidearchitects.ca  
 P. 705 812 2451  
 C. 416 841 6963  
 C. 613 406 5254

project contact: Andy Thomson



**Whitewater Brewery**  
 project # 2014-003  
 Whitewater Brewing Company  
 Hwy 17  
 Cobden, ON

Ground Floor Plan  
**A2.02**

**STRUCTURAL NOTES:**

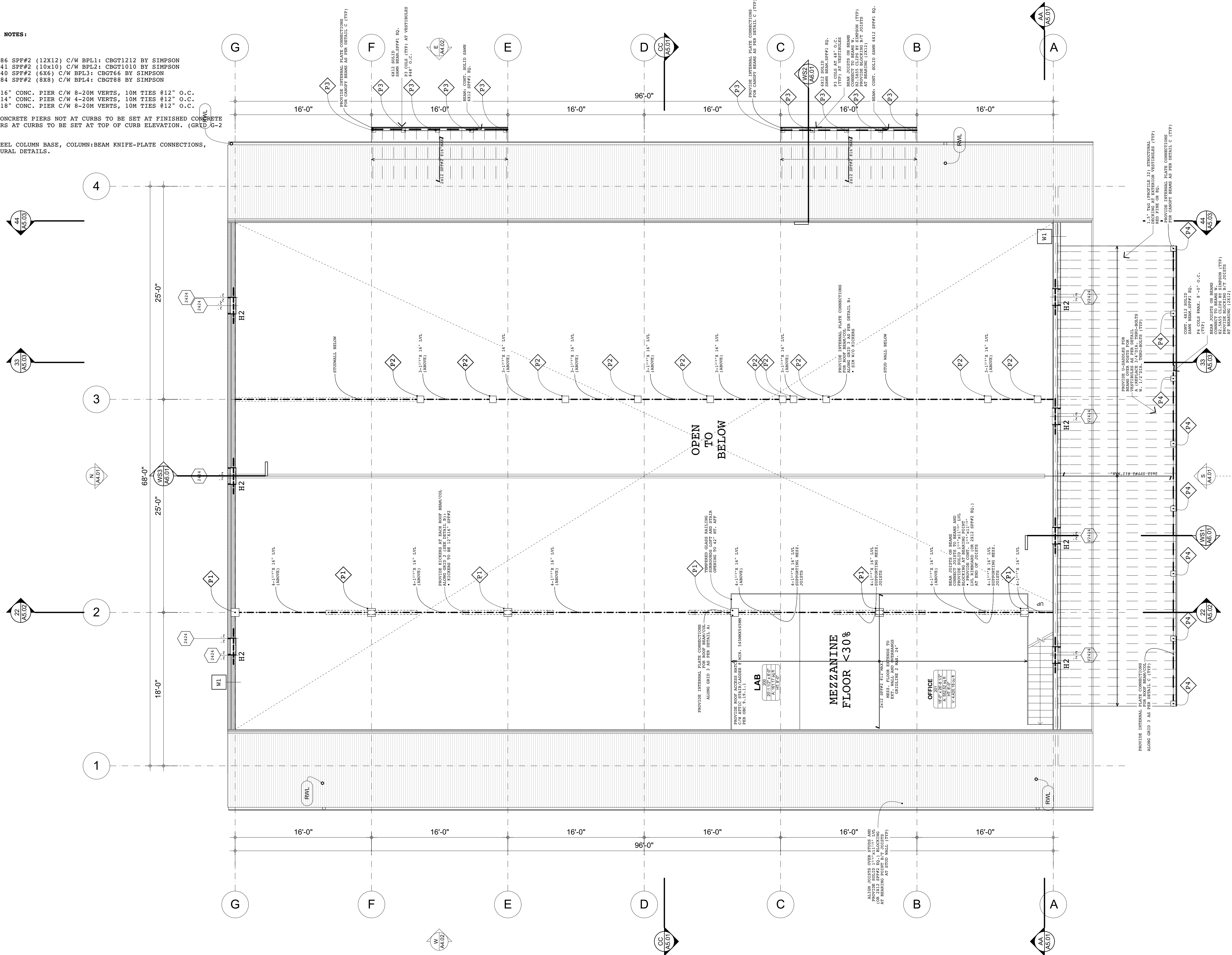
**COLUMNS**

- P1 = 286x286 SPF#2 (12X12) C/W BPL1: CBGT1212 BY SIMPSON
- P2 = 241x241 SPF#2 (10X10) C/W BPL2: CBGT1010 BY SIMPSON
- P3 = 140x140 SPF#2 (6X6) C/W BPL3: CBGT66 BY SIMPSON
- P4 = 184x184 SPF#2 (8X8) C/W BPL4: CBGT88 BY SIMPSON

- PA = 16"X 16" CONC. PIER C/W 8-20M VERTS, 10M TIES @12" O.C.
- PB = 14"X 14" CONC. PIER C/W 4-20M VERTS, 10M TIES @12" O.C.
- PC = 18"X 18" CONC. PIER C/W 8-20M VERTS, 10M TIES @12" O.C.

\* TOP OF CONCRETE PIERS NOT AT CURBS TO BE SET AT FINISHED CONCRETE FLOOR. PIERS AT CURBS TO BE SET AT TOP OF CURB ELEVATION. (GRID G-2 EXCLUDED)

FOR ALL STEEL COLUMN BASE, COLUMN:BEAM KNIFE-PLATE CONNECTIONS, SEE STRUCTURAL DETAILS.



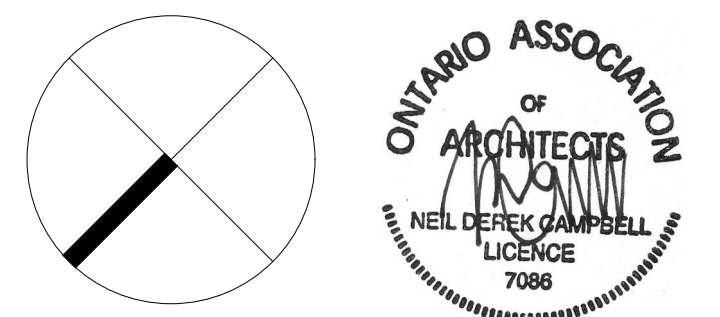
1. Copyright of this drawing is reserved by the Architect. The drawing and all associated documents are an instrument of service by the Architect. The drawing and the information contained therein may not be reproduced in whole or in part without prior written permission of the Architect.
2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon completion of the project, the Contractor shall provide written confirmation of the Architect's information regarding the intent of the Contract Documents. The Architect will review shop drawings submitted by the Contractor for design conformance only.
3. Drawings are not to be used for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the Contract Documents to the Architect before commencing any work.
4. Locations of proposed finished mechanical or electrical devices, fittings, and fixtures are indicated on architectural drawings. The locations shown on the architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.
5. These drawings are not to be used for construction unless noted below as 'Issuance For Construction'.
6. All work is to be carried out in conformance with the Code and Bylaws of the jurisdiction having jurisdiction.
7. The Architect of these plans and specifications gives no warranty or representation to any party about the responsibility of the building; represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.
8. Aside Architects, 2015

ISSUANCE	DATE DD/MM/YY
1 Coordination 1	May 23rd, 2015
2 Coordination 2	Aug 14th, 2015
3 Coordination 3	Sept 4th, 2015
4 Coordination 4	Sept 19th, 2015
5 Coordination 5	Sept 25th, 2015
6 PERMIT SET	OCT 9th, 2015



aside architects  
 FR205-33 Beaver Lake  
 Rd., RR#1  
 Trent Lakes, ON., K0L1J0  
 neil@asidearchitects.ca  
 andy@asidearchitects.ca  
 P. 705 812 2451  
 C. 416 841 6963  
 C. 613 406 5254

project contact: Andy Thomson



**Whitewater Brewery**  
 project # 2014-003  
 Whitewater Brewing  
 Company  
 Hwy 17  
 Cobden, ON

**Second Floor  
 Plan  
 A2.03**

**STRUCTURAL NOTES:**

**TRUSSES**

PRE-ENGINEERED ROOF TRUSS - SPACED 24" (600) O.C. MAX.  
TO BE DESIGNED AND CONSTRUCTED TO BEAR ON  
GRIDLINES 1, 2, 3 AND 4 (TYP)

PRE-ENGINEERED TRUSS MANUFACTURER TO PROVIDE/DETAIL CLIPS(H) BY  
SIMPSON AT EACH TRUSS BEARING POINT ON WOOD BEAMS/WALLS(TYP)

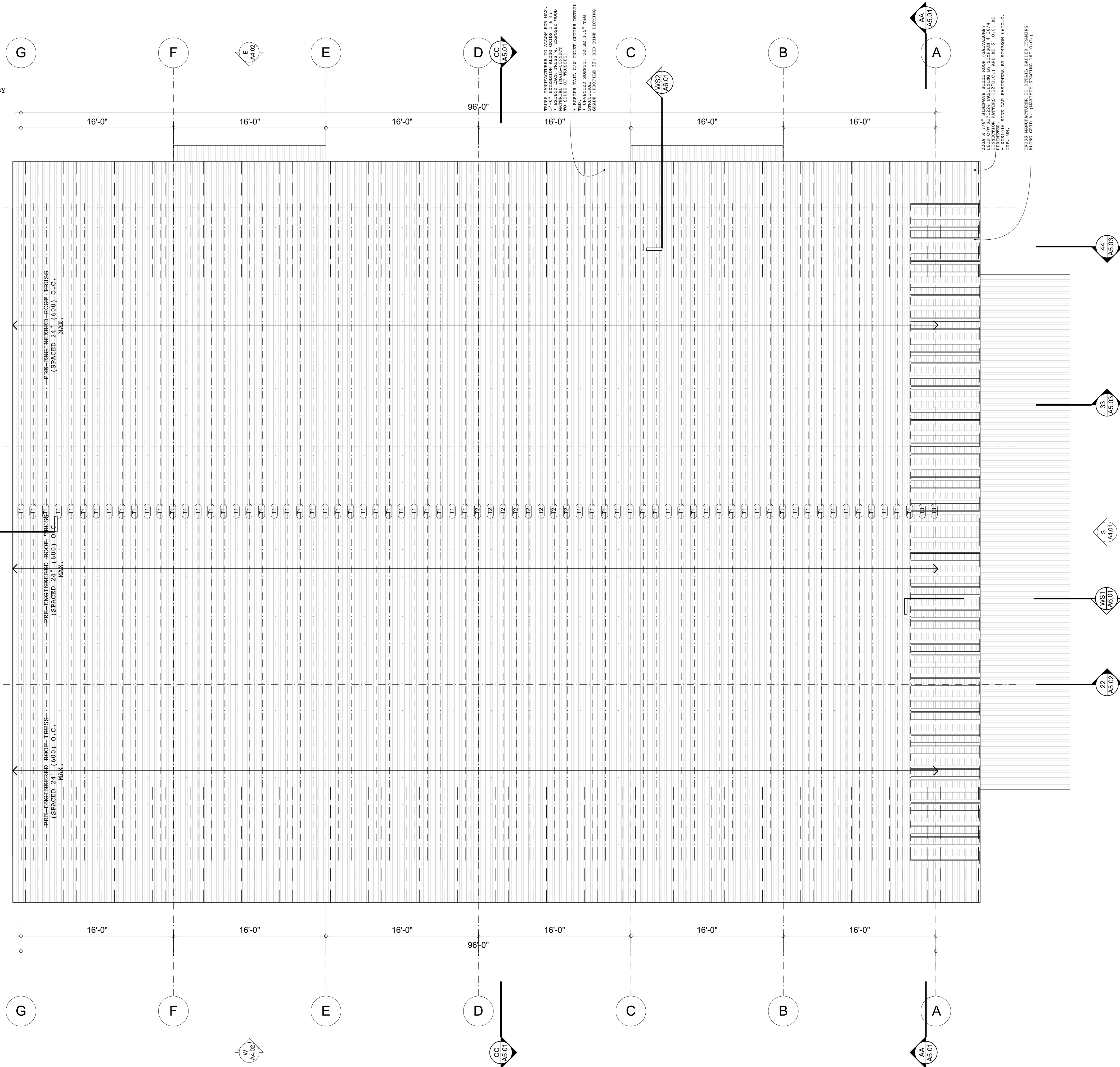
**ROOF TRUSS LOADS:**

TOP CHORD: DL: 25PSF (1.2kPa)  
SL: 50PSF (2.4kPa)  
WL: 25PSF (1.2kPa)

BOTTOM CHORD: DL: 5PSF (0.24kPa)  
LL: 10PSF (0.5kPa)

**MEZZANINE LOADS**

DL: 45PSF (2.2kPa)  
LL: 50PSF (2.4kPa)



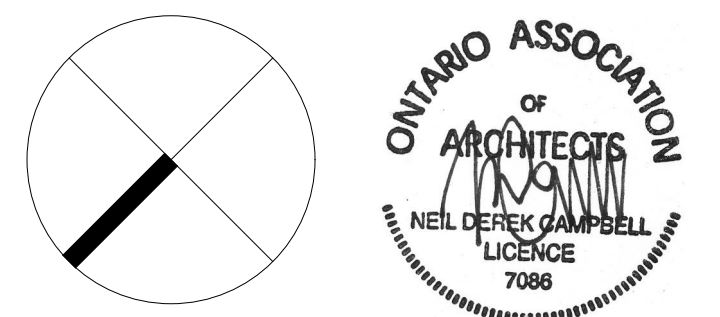
1. Copyright of this drawing is reserved by the Architect. The drawing and all associated documents are an instrument of service by the Architect. The drawing and the information contained therein may not be reproduced in whole or in part without prior written permission of the Architect.  
2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon completion of the project, the Contractor shall provide written confirmation of the Architect's information regarding the intent of the Contract Documents. The Architect will review shop drawings submitted by the Contractor for design conformance only.  
3. Drawings are not to be used for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the Contract Documents to the Architect before commencing any work.  
4. Locations of proposed finished mechanical or electrical devices, fittings, and fixtures are indicated on architectural drawings. The locations shown on the architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.  
5. These drawings are not to be used for construction unless noted below as 'Issued for Construction'.  
6. All work is to be carried out in conformance with the Code and Bylaws of the jurisdiction having jurisdiction.  
7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the buildings represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.  
© Aside Architects, 2015

ISSUANCE	DATE DD/MM/YY
1 Coordination	May 23rd, 2015
2 Coordination 2	Aug 14th, 2015
3 Coordination 3	Sept 4th, 2015
4 Coordination 4	Sept 19th, 2015
5 Coordination 5	Sept 25th, 2015
6 PERMIT SET	OCT 9th, 2015



aside architects  
FR205-33 Beaver Lake  
Rd., RR#1  
Trent Lakes, ON., K0L 1J0  
neil@asidearchitects.ca  
andy@asidearchitects.ca  
P. 705 812 2451  
C. 416 841 6963  
C. 613 406 5254

project contact: Andy Thomson



**Whitewater Brewery**  
project # 2014-003  
Whitewater Brewing  
Company  
Hwy 17  
Cobden, ON

**Roof Plan**  
**A2.04**

1. Copyright of this drawing is reserved by the Architect. The drawing and all associated documents are an instrument of service by the Architect. The drawing and the information contained therein may not be reproduced in whole or in part without prior written permission of the Architect.

2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the contractor. Upon written application, the Architect will provide written clarification. Upon supplementary information regarding the intent of the Contract Documents, the Architect will review shop drawings submitted by the contractor for design conference only.

3. Drawings are not to be scaled for construction. The contractor is to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the contract documents to the Architect before commencing any work.

4. Locations of proposed finished mechanical or electrical devices, fittings, and fixtures are indicated on architectural drawings. The locations shown on the architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

5. Shop drawings are not to be used for construction unless noted below as "Issuance For Construction".

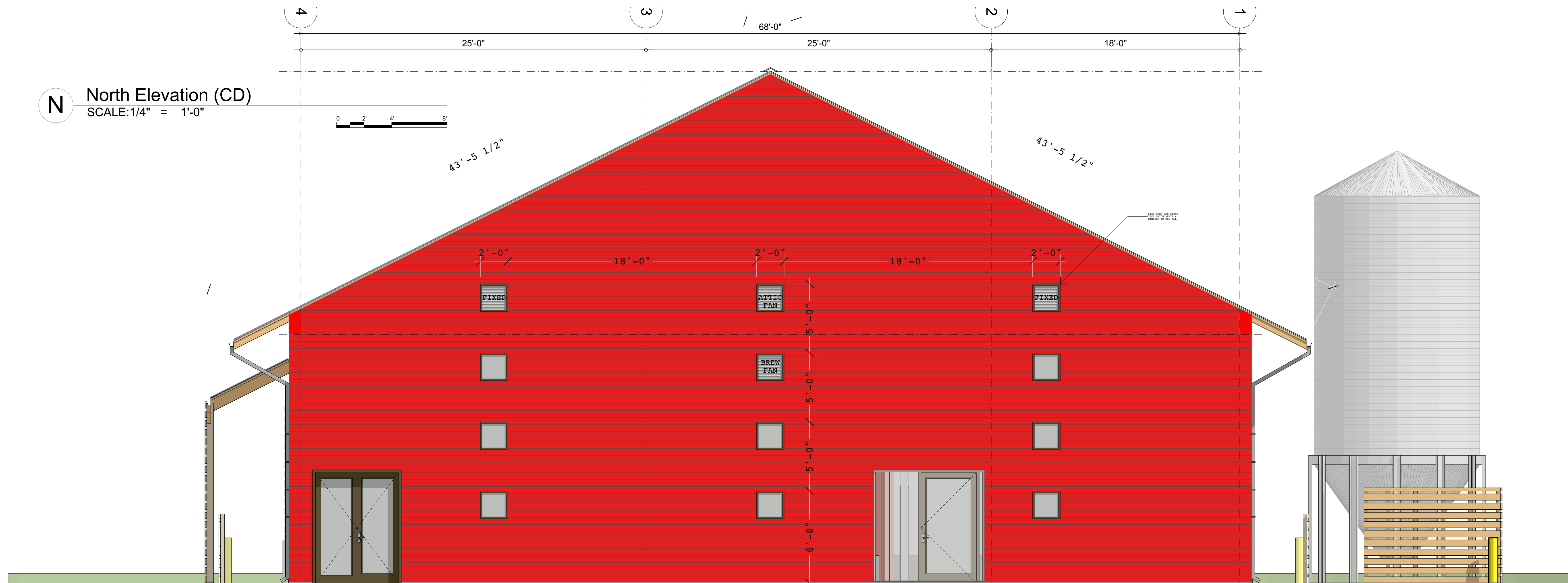
6. All work is to be carried out in conformance with the Code and Bylaws of the jurisdiction having jurisdiction.

7. The Architect of these plans and specifications gives no warranty or representation to any party about the non-responsibility of the buildings represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

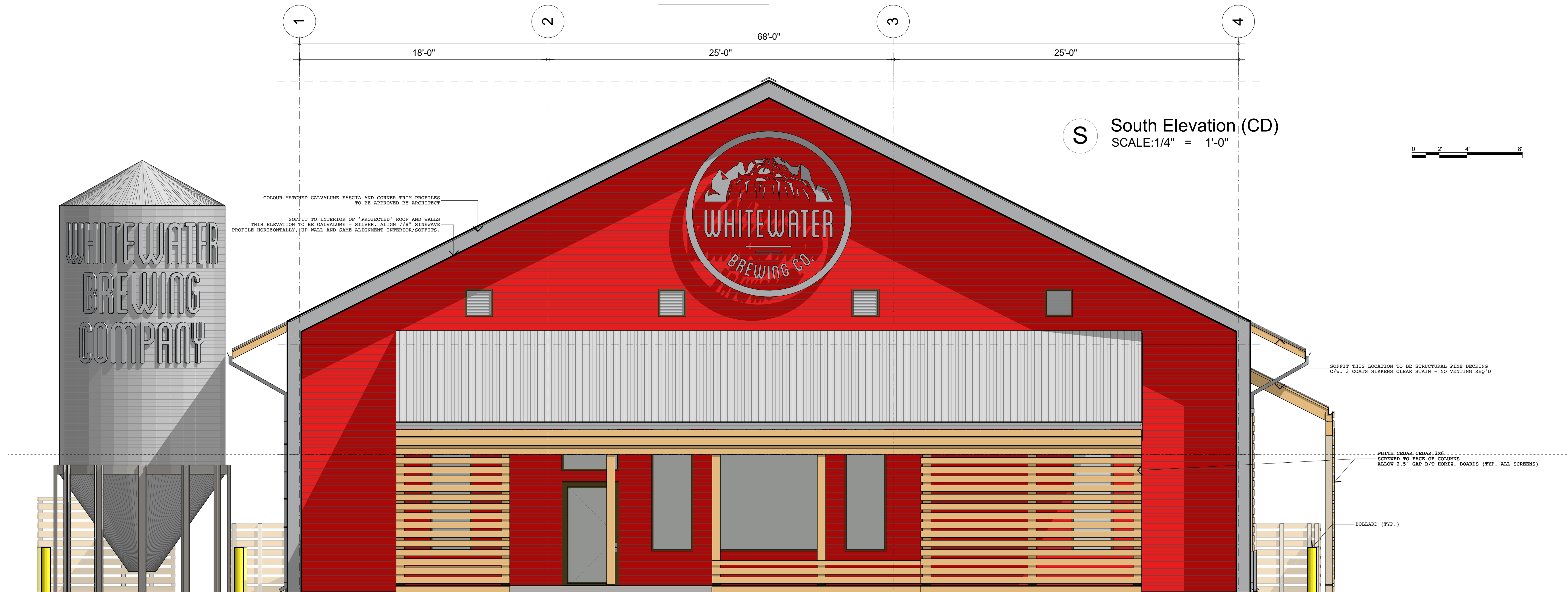
© Aside Architects, 2015

ISSUANCE	DATE DD/MM/YY
1 Coordination	May 23rd, 2015
2 Coordination 2	Aug 14th, 2015
3 Coordination 3	Sept 4th, 2015
4 Coordination 4	Sept 19th, 2015
5 Coordination 5	Sept 25th, 2015
6 PERMIT SET	OCT 9th, 2015

**N** North Elevation (CD)  
SCALE: 1/4" = 1'-0"



**S** South Elevation (CD)  
SCALE: 1/4" = 1'-0"



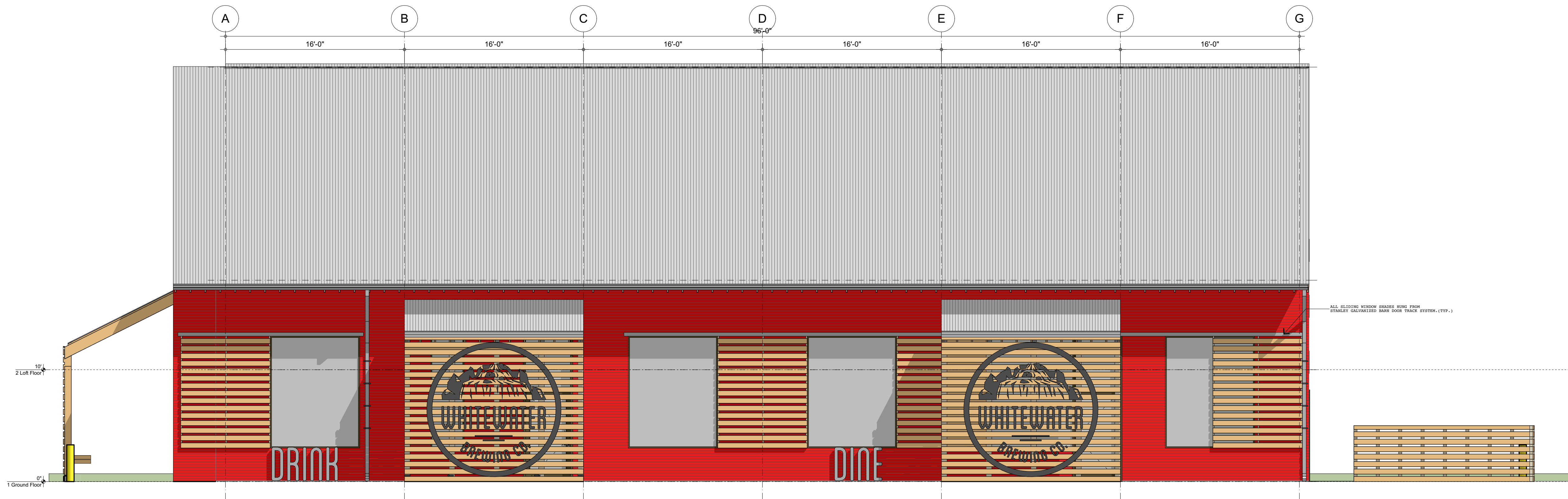
aside architects  
FR205-33 Beaver Lake Rd., RR#1  
Trent Lakes, ON., K0L 1J0  
neil@asidearchitects.ca  
andy@asidearchitects.ca  
P. 705 812 2451  
C. 416 841 6963  
C. 613 406 5254

project contact: Andy Thomson



**Whitewater Brewery**  
project # 2014-003  
Whitewater Brewing Company  
Hwy 17  
Cobden, ON

North & South Elevations  
**A4.01**



**E** East Elevation (CD)  
SCALE: 3/16" = 1'-0"



**W** West Elevation (CD)  
SCALE: 3/16" = 1'-0"



1. Copyright of this drawing is reserved by the Architect. The drawing and all associated documents are an instrument of service by the Architect. The drawing and the information contained therein may not be reproduced in whole or in part without prior written permission of the Architect.

2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application, the Architect will provide written clarification. The Contractor will review shop drawings submitted by the Contractor for design conference only.

3. Drawings are not to be used for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the Contract Documents to the Architect before commencing any work.

4. Locations of proposed finished mechanical or electrical devices, fittings, and fixtures are indicated on architectural drawings. The locations shown on the architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

5. These drawings are not to be used for construction unless noted below as "Issuance For Construction".

6. All work is to be carried out in conformance with the Code and Bylaws of the jurisdiction having jurisdiction.

7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the buildings represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

© Aside architects, 2015

ISSUANCE	DATE DD/MM/YY	
1	Coordination 1	May 23rd, 2015
2	Coordination 2	Aug 14th, 2015
3	Coordination 3	Sept 4th, 2015
4	Coordination 4	Sept 19th, 2015
5	Coordination 5	Sept 25th, 2015
5	PERMIT SET	OCT 9th, 2015
6		



aside architects  
FR205-33 Beaver Lake  
Rd., RR#1  
Trent Lakes, ON., K0L1J0  
neil@asidearchitects.ca  
andy@asidearchitects.ca  
P. 705 812 2451  
C. 416 841 6963  
C. 613 406 5254

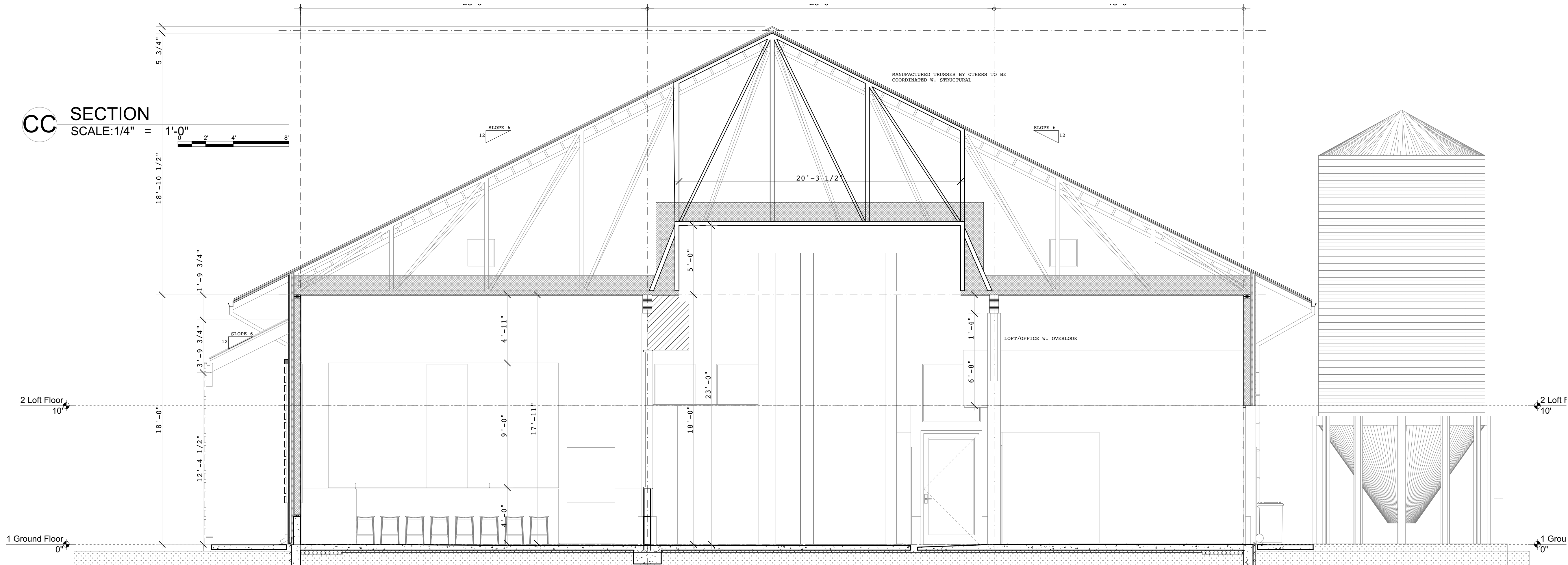
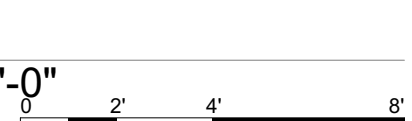
project contact: Andy Thomson



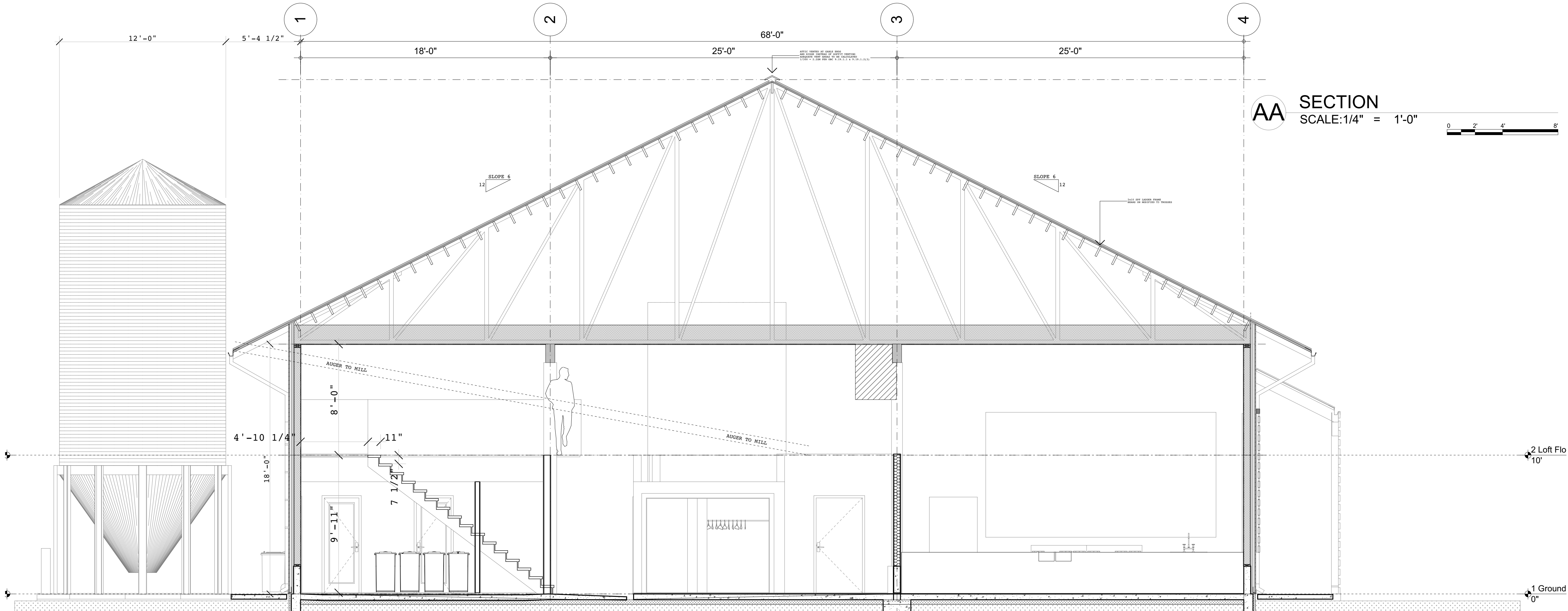
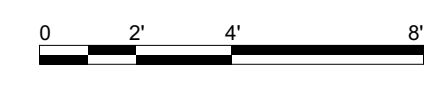
**Whitewater Brewery**  
project # 2014-003  
Whitewater Brewing  
Company  
Hwy 17  
Cobden, ON

East & West  
Elevations  
**A4.02**

**CC SECTION**  
SCALE: 1/4" = 1'-0"



**AA SECTION**  
SCALE: 1/4" = 1'-0"



1. Copyright of this drawing is reserved by the Architect. The drawing and all associated documents are an instrument of service by the Architect. The drawing and the information contained therein may not be reproduced in whole or in part without prior written permission of the Architect.  
 2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the contractor. Upon written application, the Architect will provide written clarification. Upon supplementary information regarding the intent of the Contract Documents, the Architect will review shop drawings submitted by the contractor for design conformance only.  
 3. Drawings are not to be scaled for construction. The contractor is to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the contract documents to the Architect before commencing any work.  
 4. Locations of proposed finished mechanical or electrical devices, fittings, and fixtures are indicated in architectural drawings. The locations shown on the architectural drawings govern over the mechanical and electrical drawings. These items not clearly located will be located as directed by the Architect.  
 5. These drawings are not to be used for construction unless noted below as 'Issuance For Construction'.  
 6. All work is to be carried out in conformance with the Code and Bylaws of the jurisdiction having jurisdiction.  
 7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the buildings represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.  
 © Aside architects, 2015

ISSUANCE	DATE DD/MM/YY
1 Coordination 1	May 23rd, 2015
2 Coordination 2	Aug 14th, 2015
3 Coordination 3	Sept 4th, 2015
4 Coordination 4	Sept 19th, 2015
5 Coordination 5	Sept 25th, 2015
6 PERMIT SET	OCT 9th, 2015



aside architects  
 FR205-33 Beaver Lake  
 Rd., RR#1  
 Trent Lakes, ON., K0L 1J0  
 neil@asidearchitects.ca  
 andy@asidearchitects.ca  
 P. 705 812 2451  
 C. 416 841 6963  
 C. 613 406 5254

project contact: Andy Thomson



**Whitewater Brewery**  
 project # 2014-003  
 Whitewater Brewing  
 Company  
 Hwy 17  
 Cobden, ON

Building  
 Sections 1/3  
**A5.01**

1. Copyright of this drawing is reserved by the Architect. The drawing and all associated documents are an instrument of service by the Architect. The drawing and the information contained therein may not be reproduced in whole or in part without prior written permission of the Architect.

2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application, the Architect will provide written clarification. Upon supplementary information regarding the intent of the Contract Documents, the Architect will review shop drawings submitted by the Contractor for design conformance only.

3. Drawings are not to be scaled for construction. The contractor is to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the Contract Documents to the Architect before commencing any work.

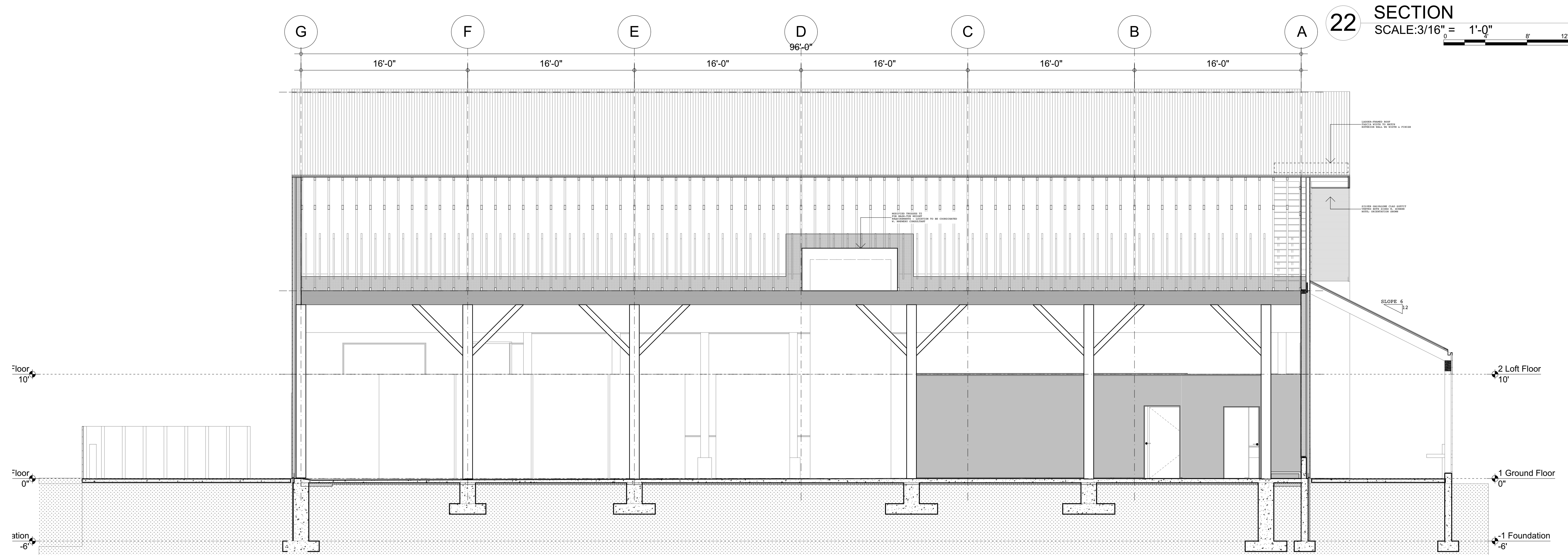
4. Locations of proposed finished mechanical or electrical devices, fittings, and fixtures are indicated on architectural drawings. The locations shown on the architectural drawings govern over the mechanical and electrical drawings. These items not clearly located will be located as directed by the Architect.

5. Shop drawings are not to be used for construction unless noted below as "Issuance For Construction".

6. All work is to be carried out in conformance with the Code and Bylaws of the jurisdiction having jurisdiction.

7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

© Aside architects. 2015



**22 SECTION**  
 SCALE: 3/16" = 1'-0"  
 0 4 8 12

ISSUANCE	DATE DD/MM/YY
1 Coordination 1	May 23rd, 2015
2 Coordination 2	Aug 14th, 2015
3 Coordination 3	Sept 4th, 2015
4 Coordination 4	Sept 19th, 2015
5 Coordination 5	Sept 25th, 2015
5 PERMIT SET	OCT 9th, 2015
6	



aside architects  
 FR205-33 Beaver Lake  
 Rd., RR#1  
 Trent Lakes, ON., K0L 1J0  
 neil@asidearchitects.ca  
 andy@asidearchitects.ca  
 P. 705 812 2451  
 C. 416 841 6963  
 C. 613 406 5254

project contact: Andy Thomson



**Whitewater Brewery**  
 project # 2014-003  
 Whitewater Brewing  
 Company  
 Hwy 17  
 Cobden, ON

Building  
 Sections 2/3  
**A5.02**

1. Copyright of this drawing is reserved by the Architect. The drawing and all associated documents are an instrument of service by the Architect. The drawing and the information contained therein may not be reproduced in whole or in part without prior written permission of the Architect.

2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application, the Architect will provide written clarification. Upon supplementary information regarding the intent of the Contract Documents, the Architect will review shop drawings submitted by the Contractor for design conformance only.

3. Drawings are not to be used for construction. The contractor is to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the Contract Documents to the Architect before commencing any work.

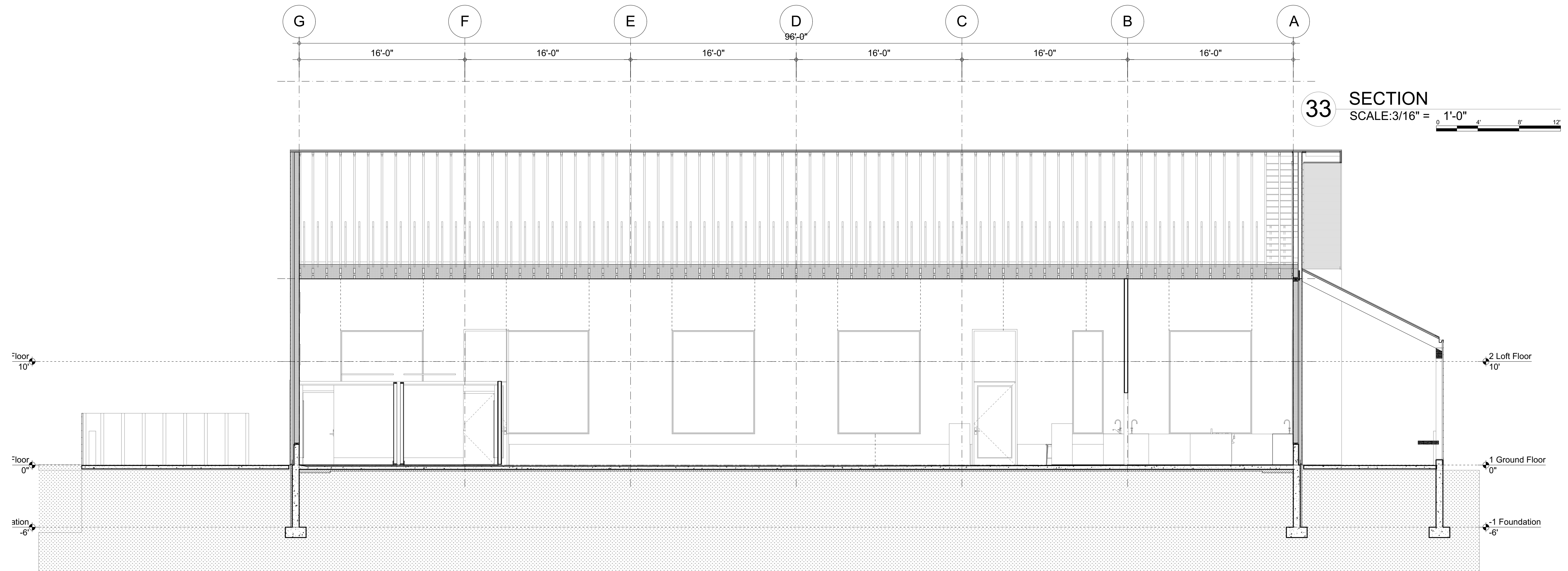
4. Locations of proposed finished mechanical or electrical devices, fittings, and fixtures are indicated in architectural drawings. The locations shown on the architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

5. Shop drawings are not to be used for construction unless noted below as "Issued For Construction".

6. All work is to be carried out in conformance with the Code and Bylaws of the jurisdiction having jurisdiction.

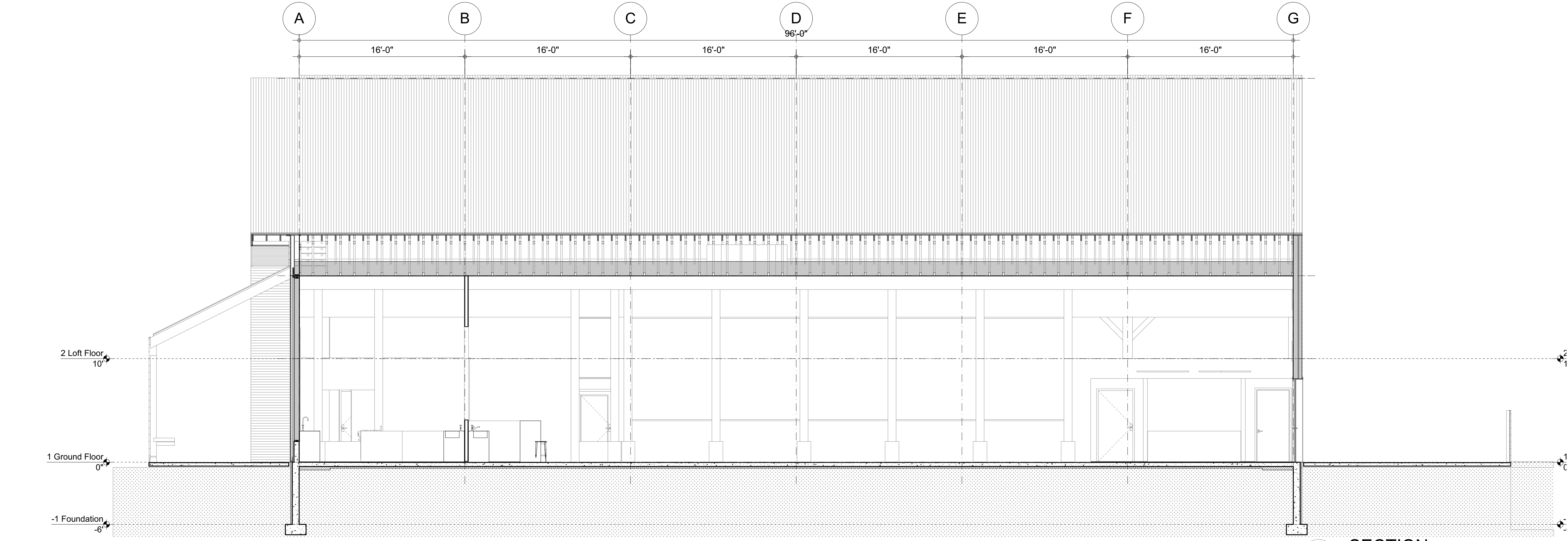
7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the buildings represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

© Aside Architects, 2015



**33 SECTION**  
SCALE: 3/16" = 1'-0"  
0 4 8 12

ISSUANCE	DATE DD/MM/YY
1 Coordination	May 23rd, 2015
2 Coordination 2	Aug 14th, 2015
3 Coordination 3	Sept 4th, 2015
4 Coordination 4	Sept 19th, 2015
5 Coordination 5	Sept 25th, 2015
6 PERMIT SET	OCT 9th, 2015



**44 SECTION**  
SCALE: 3/16" = 1'-0"  
0 4 8 12



aside architects  
FR205-33 Beaver Lake  
Rd., RR#1  
Trent Lakes, ON., K0L 1J0  
neil@asidearchitects.ca  
andy@asidearchitects.ca  
P. 705 812 2451  
C. 416 841 6963  
C. 613 406 5254

project contact: Andy Thomson



**Whitewater Brewery**  
project # 2014-003  
Whitewater Brewing  
Company  
Hwy 17  
Cobden, ON

**Building  
Sections 3/3  
A5.03**



1. Copyright of this drawing is reserved by the Architect. The drawing and all associated documents are an instrument of service by the Architect. The drawing and the information contained therein may not be reproduced in whole or in part without prior written permission of the Architect.

2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application, the Architect will provide written clarification. Upon supplementary information regarding the intent of the Contract Documents, the Architect will review shop drawings submitted by the Contractor for design conformance only.

3. Drawings are not to be scaled for construction. The contractor is to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the contract documents to the Architect before commencing any work.

4. Locations of proposed finished mechanical or electrical devices, fittings, and fixtures are indicated on architectural drawings. The locations shown on the architectural drawings govern over the mechanical and electrical drawings. These items not clearly located will be located as directed by the Architect.

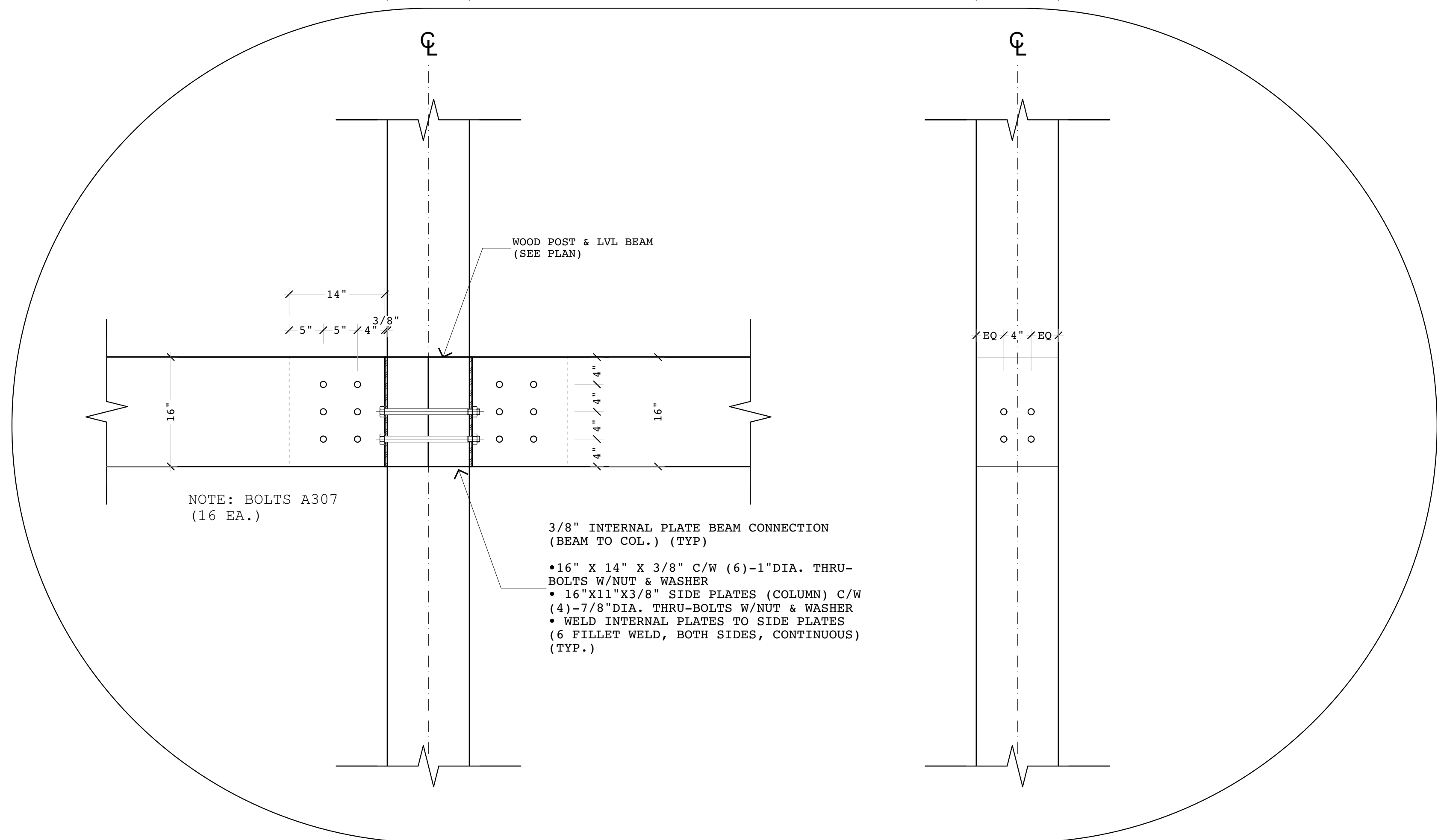
5. Shop drawings are not to be used for construction unless noted below as "Issuance For Construction".

6. All work is to be carried out in conformance with the Code and Bylaws of the jurisdiction having jurisdiction.

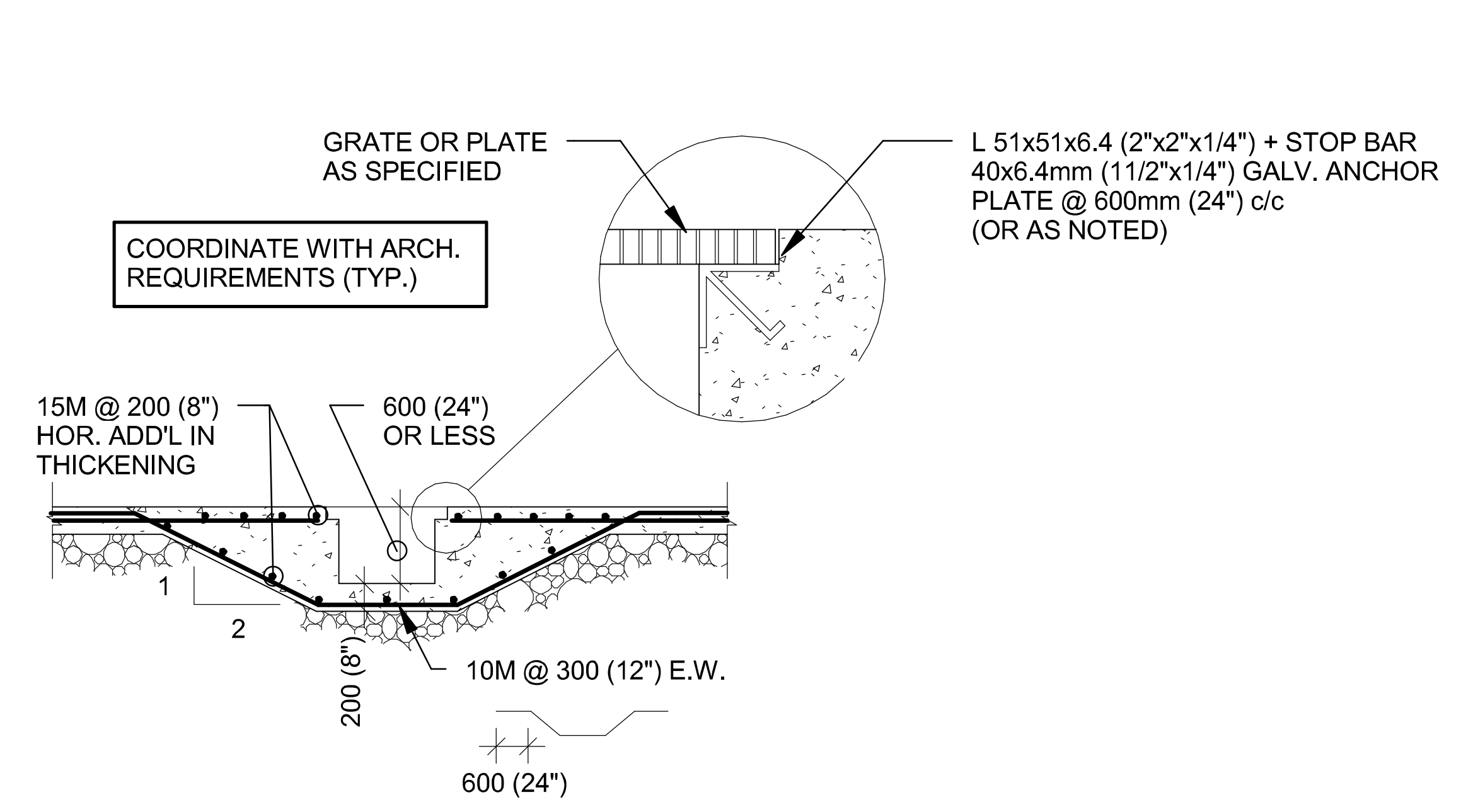
7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the buildings represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

© Aside Architects, 2015

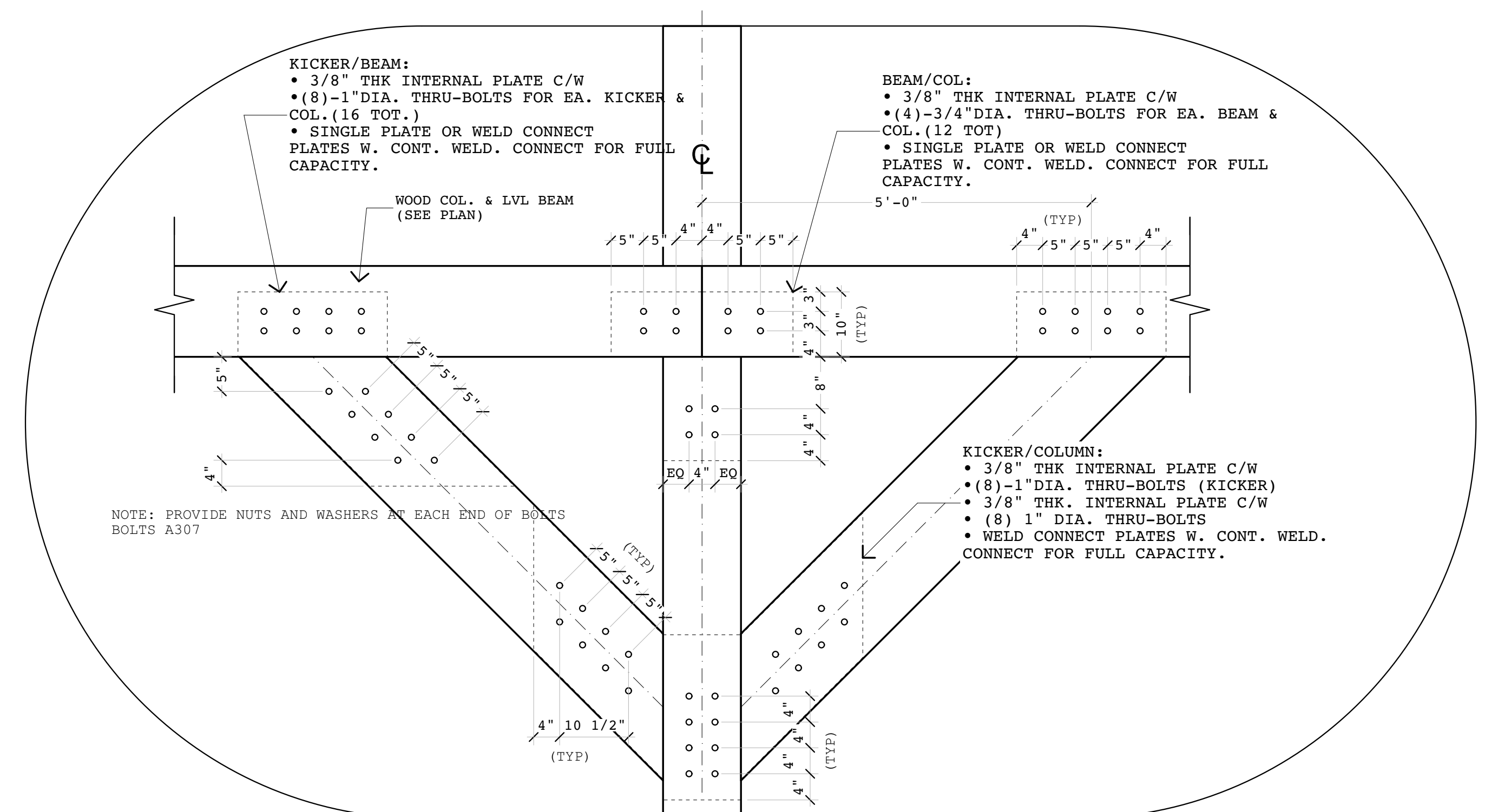
ISSUANCE	DATE DD/MM/YY
1 Coordination 1	May 23rd, 2015
2 Coordination 2	Aug 14th, 2015
3 Coordination 3	Sept 4th, 2015
4 Coordination 4	Sept 19th, 2015
5 Coordination 5	Sept 25th, 2015
5 PERMIT SET	OCT 9th, 2015
6	



**A** STRUCTURAL DETAIL A: MEZZ BEAM (KNIFE PLATE CONNECTION)  
SCALE: 1" = 1'-0"



**C** STRUCTURAL DETAIL C: Trench Detail  
NOT TO SCALE



**B** STRUCTURAL DETAIL B: ROOF BEAMS GRID 2  
SCALE: 3/4" = 1'-0"



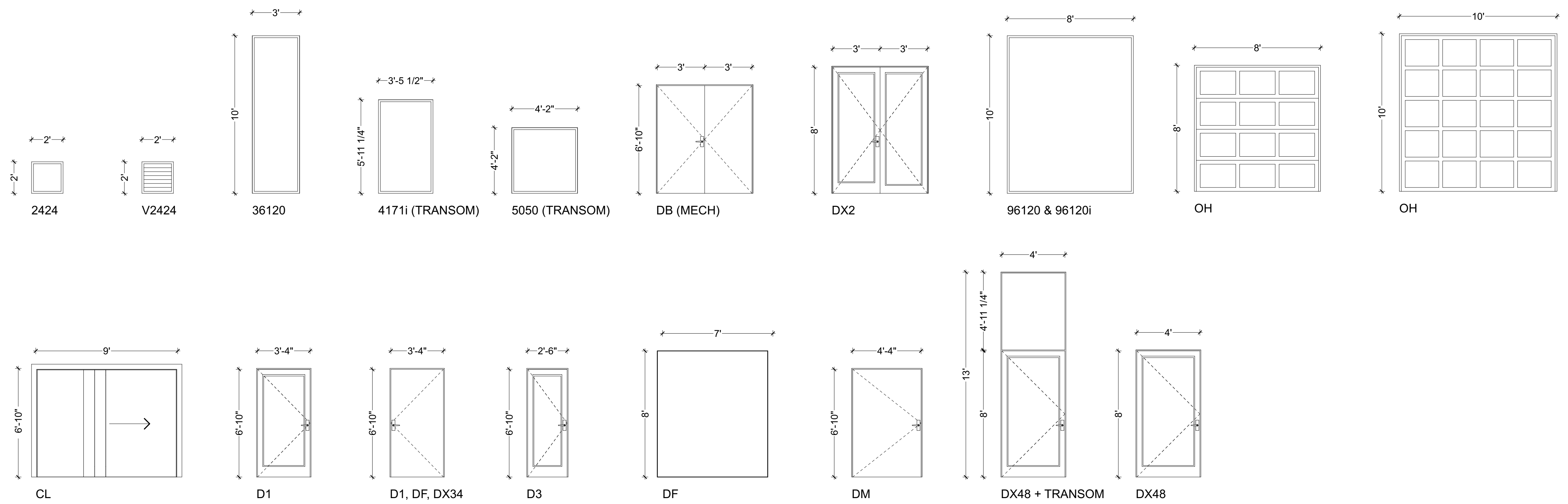
aside architects  
FR205-33 Beaver Lake  
Rd., RR#1  
Trent Lakes, ON., K0L 1J0  
neil@asidearchitects.ca  
andy@asidearchitects.ca  
P. 705 812 2451  
C. 416 841 6963  
C. 613 406 5254

project contact: Andy Thomson



**Whitewater Brewery**  
project # 2014-003  
Whitewater Brewing  
Company  
Hwy 17  
Cobden, ON

**Structural  
Details  
A6.02**



**WBC DOOR-WINDOW LEGEND**  
SCALE: 1/4" = 1'-0"



1. Copyright of this drawing is reserved by the Architect. The drawing and all associated documents are an instrument of service by the Architect. The drawing and the information contained therein may not be reproduced in whole or in part without prior written permission of the Architect.

2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application, the Architect will provide written clarification. Upon supplementary information regarding the intent of the Contract Documents, the Architect will review shop drawings submitted by the Contractor for design conformance only.

3. Drawings are not to be scaled for construction. The contractor is to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the Contract Documents to the Architect before commencing any work.

4. Locations of proposed finished mechanical or electrical devices, fittings, and fixtures are indicated on architectural drawings. The locations shown on the architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

5. These drawings are not to be used for construction unless noted below as **Issuance For Construction**.

6. All work is to be carried out in conformance with the Code and Bylaws of the jurisdiction having jurisdiction.

7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the buildings represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

© Aside Architects, 2015

ISSUANCE	DATE DD/MM/YY
1 Coordination	May 23rd, 2015
2 Coordination 2	Aug 14th, 2015
3 Coordination 3	Sept 4th, 2015
4 Coordination 4	Sept 19th, 2015
5 Coordination 5	Sept 25th, 2015
6 PERMIT SET	OCT 9th, 2015

ID	Quantity	Height	Width
2424	14	2'	2'
4171i	1	5'-11 1/4"	3'-5 1/2"
5050	1	4'-2"	4'-2"
36120	5	10'	3'
96120	6	10'	8'
96120i	5	10'	8'
V2424	8	2'	2'

MARK	FROM ROOM	TO ROOM	Leaf Dimensions	TYPE	MAT'L	FINISH	FRAME	FIRE	HDWE	COMMENTS
CL		STAFF ENTRY	8'-9 5/8" x 6'-9 1/2"	MIR	ALU	ANO	HMF	NR		MIRRORED CLOSET SLIDER
D1		BREWING	3'-4"x6'-10"	SCW-GP	MAPLE	VAR	HMF	NR		SOLID CORE WOOD GLASS PANEL (INTERIOR)
D1		FEMALE WC	3'-4"x6'-10"	SCWV	MAPLE	VAR	HMF	NR		SOLID CORE WOOD VENEER
D1		WASTE AREA	3'-4"x6'-10"	SCWV	MAPLE	VAR	HMF	NR		SOLID CORE WOOD VENEER
D1	MALE WC		3'-4"x6'-10"	SCWV	MAPLE	VAR	HMF	NR		SOLID CORE WOOD VENEER
D3			2'-6"x6'-10"	SCWV	MAPLE	VAR	HMF	NR		SOLID CORE WOOD VENEER
D3			2'-6"x6'-10"	SCWV	MAPLE	VAR	HMF	NR		SOLID CORE WOOD VENEER
DB		BOILER & MECH	3'x6'-10"	SCWV	MAPLE	VAR	HMF	NR		SOLID CORE WOOD VENEER
DF		KITCHEN WIC	3'-4"x6'-10"	ICM	MTL	PT	IMF	NR		INSULATED CORE PAINTED METAL
DF		WALK-IN COOLER	3'-4"x6'-10"	ICM	MTL	PT	IMF	NR		INSULATED CORE PAINTED METAL
DF		WALK-IN COOLER	6'-8 1/16" x 7'-10 1/16"	ICM	MTL	PT	IMF	NR		INS. CORE PM - SURFACE GASKETED SLIDER
DM		MILL & GRAIN	4'-4"x6'-10"	HCM	MTL	PT	HMF	NR		CHECK WIDTH FOR EQPT SERVICING
DX2			3'x8'	SCW-GP	MAPLE	VAR	HMF	NR		SOLID CORE W. THERMAL (3x) GLASS INSERT
DX34		KEG UTILITY	3'-4"x6'-10"	ICM	MTL	PT	IMF	NR		INSULATED CORE PAINTED METAL
DX40		WASTE AREA	3'-4"x6'-10"	ICM	MTL	PT	IMF	NR		INSULATED CORE PAINTED METAL
DX48			4'x8'	SCW-GP	MAPLE	VAR	IMF	NR		SOLID CORE W. THERMAL (3x) GLASS INSERT
DX48			4'x8'	SCW-GP	MAPLE	VAR	IMF	NR		SOLID CORE W. THERMAL (3x) GLASS INSERT
DX48	CENTRAL CORRIDOR		4'x8'	SCW-GP	MAPLE	VAR	IMF	NR		SOLID CORE W. THERMAL (3x) GLASS INSERT
OH		BOTTLE STORAGE (S&R)	---	---	---	---	---	---		
OH		CENTRAL CORRIDOR	---	---	---	---	---	---		

**WINDOW & DOOR SCHEDULE NOTES:**

**I** SUFFIX DENOTES INTERIOR, SINGLE GLAZED  
**V** PREFIX DENOTES LOUVRED GALVANIZED, SCREENED VENT  
**CL** DENOTES CLOSET SLIDING DOOR  
**DX** DENOTES EXTERIOR DOOR, TRIPLE GLAZED  
**DF** DENOTES WALK-IN-COOLER INSULATED PAINTED METAL DOOR C/W. THERMALLY BROKEN FRAME  
**OH** DENOTES OVERHEAD ANODIZED THERMAL GARAGE DOOR \* STYLE TBD BY OWNER  
**HMF** = HOLLOW METAL FRAME  
**IMF** = INSULATED METAL FRAME C/W THERMAL BREAK  
**SCWV** = SOLID CORE WOOD C/W VENEER  
**SCWG** = SOLID CORE WOOD C/W VENEER & LAMINATED GLAZED INSERT - JAMBS TYP. 150MM ALL SIDES, BOTTOM 250MM  
**ICM** = INSULATED METAL CORE C/W THERMAL BREAK ON DOORSKIN  
**HCM** = HOLLOW METAL CORE  
**MTL** = METAL/STEEL DOOR  
**ANO** = ANODIZED ALUMINUM  
**NR** = NOT RATED

ALL WINDOWS AND GLAZED EXTERIOR DOORS (EXCEPT OVERHEAD DOORS WHICH MAY BE DOUBLE-GLAZED TO REDUCE WEIGHT) TO BE TRIPLE-GLAZED, LOW-E, C/W INSULATED & THERMALLY-BROKEN FRAMES AND GLAZING SPACERS (WARM-EDGE).

TO MEET OBC FOR PEMBROKE, ZONE 4 PER SBC10  
 CONTRACTOR TO PROVIDE ALL REQUIRED HARDWARE FOR BARRIER-FREE ENTRY



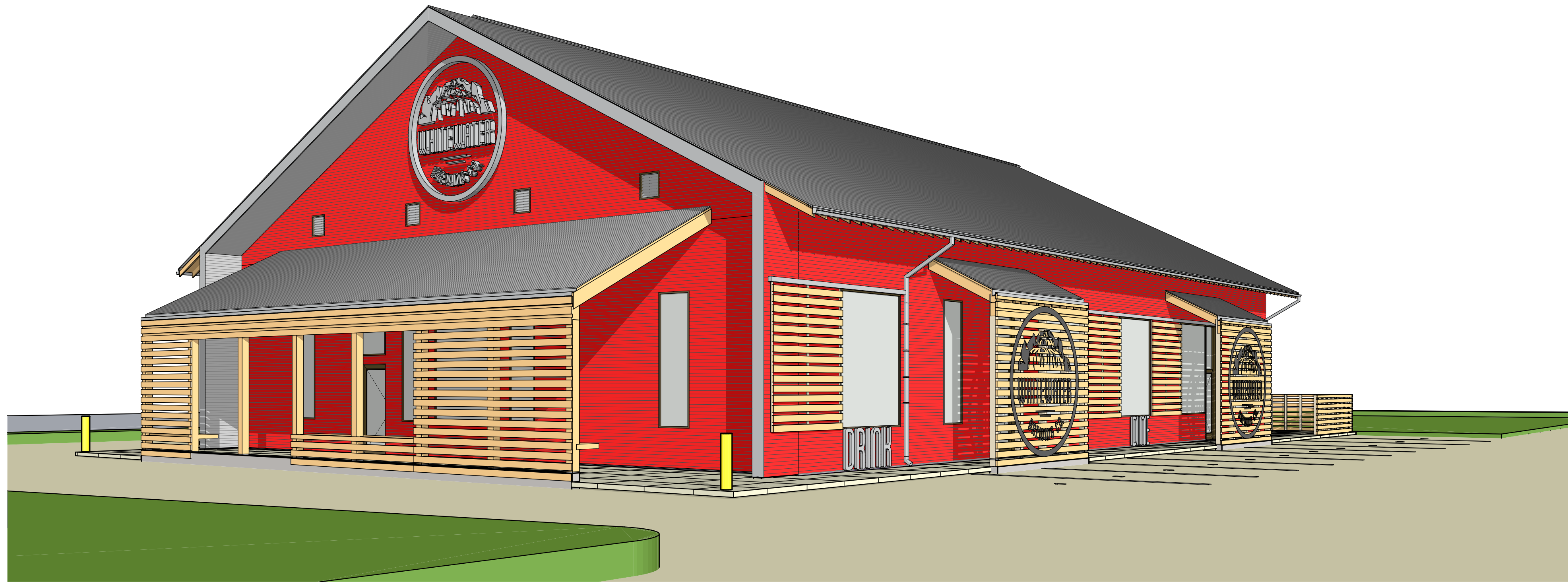
aside architects  
 FR205-33 Beaver Lake Rd., RR#1  
 Trent Lakes, ON., K0L 1J0  
 neil@asidearchitects.ca  
 andy@asidearchitects.ca  
 P. 705 812 2451  
 C. 416 841 6963  
 C. 613 406 5254

project contact: Andy Thomson



**Whitewater Brewery**  
 project # 2014-003  
 Whitewater Brewing Company  
 Hwy 17  
 Cobden, ON

Window & Door Schedules  
**A8.01**



2 From P-Lot  
SCALE: 1/4" = 1'-0"



4 From Rear Alley  
SCALE: 1/4" = 1'-0"

1. Copyright of this drawing is reserved by the Architect. The drawing and all associated documents are an instrument of service by the Architect. The drawing and the information contained therein may not be reproduced in whole or in part without prior written permission of the Architect.

2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application, the Architect will provide written clarification. Upon supplementary information regarding the intent of the Contract Documents, the Architect will review shop drawings submitted by the Contractor for design conference only.

3. Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the Contract Documents to the Architect before commencing any work.

4. Locations of proposed finished mechanical or electrical devices, fittings, and fixtures are indicated on architectural drawings. The locations shown on the architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

5. These drawings are not to be used for construction unless noted below as Issuance For Construction.

6. All work is to be carried out in conformance with the Code and Bylaws of the jurisdiction having jurisdiction.

7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the buildings represented by them. All Contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

© Aside Architects, 2015

ISSUANCE	DATE DD/MM/YY
1 Coordination 1	May 23rd, 2015
2 Coordination 2	Aug 14th, 2015
3 Coordination 3	Sept 4th, 2015
4 Coordination 4	Sept 19th, 2015
5 Coordination 5	Sept 25th, 2015
6 PERMIT SET	OCT 9th, 2015
6	



aside architects  
FR205-33 Beaver Lake  
Rd., RR#1  
Trent Lakes, ON., K0L 1J0  
neil@asidearchitects.ca  
andy@asidearchitects.ca  
P. 705 812 2451  
C. 416 841 6963  
C. 613 406 5254

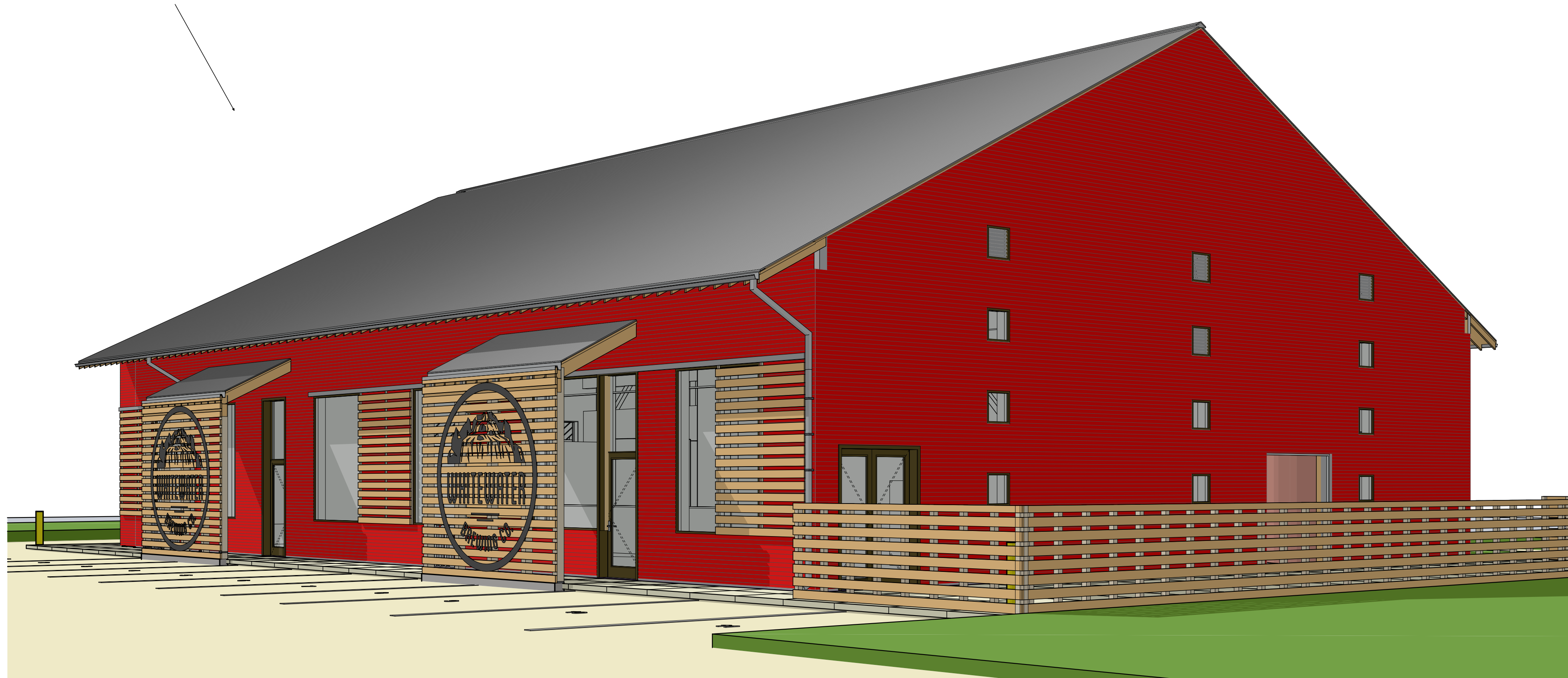
project contact: Andy Thomson



**Whitewater Brewery**  
project # 2014-003  
Whitewater Brewing  
Company  
Hwy 17  
Cobden, ON

3D Sketches 1/2

**A9.01**



1. Copyright of this drawing is reserved by the Architect. The drawing and all associated documents are an instrument of service by the Architect. The drawing and the information contained therein may not be reproduced in whole or in part without prior written permission of the Architect.

2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application, the Architect will provide written clarification. Upon supplementary information regarding the intent of the Contract Documents, the Architect will review shop drawings submitted by the Contractor for design conformance only.

3. Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the Contract Documents to the Architect before commencing any work.

4. Locations of proposed finished mechanical or electrical devices, fittings, and fixtures are indicated in architectural drawings. The locations shown on the architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.

5. These drawings are not to be used for construction unless noted below as Issuance For Construction.

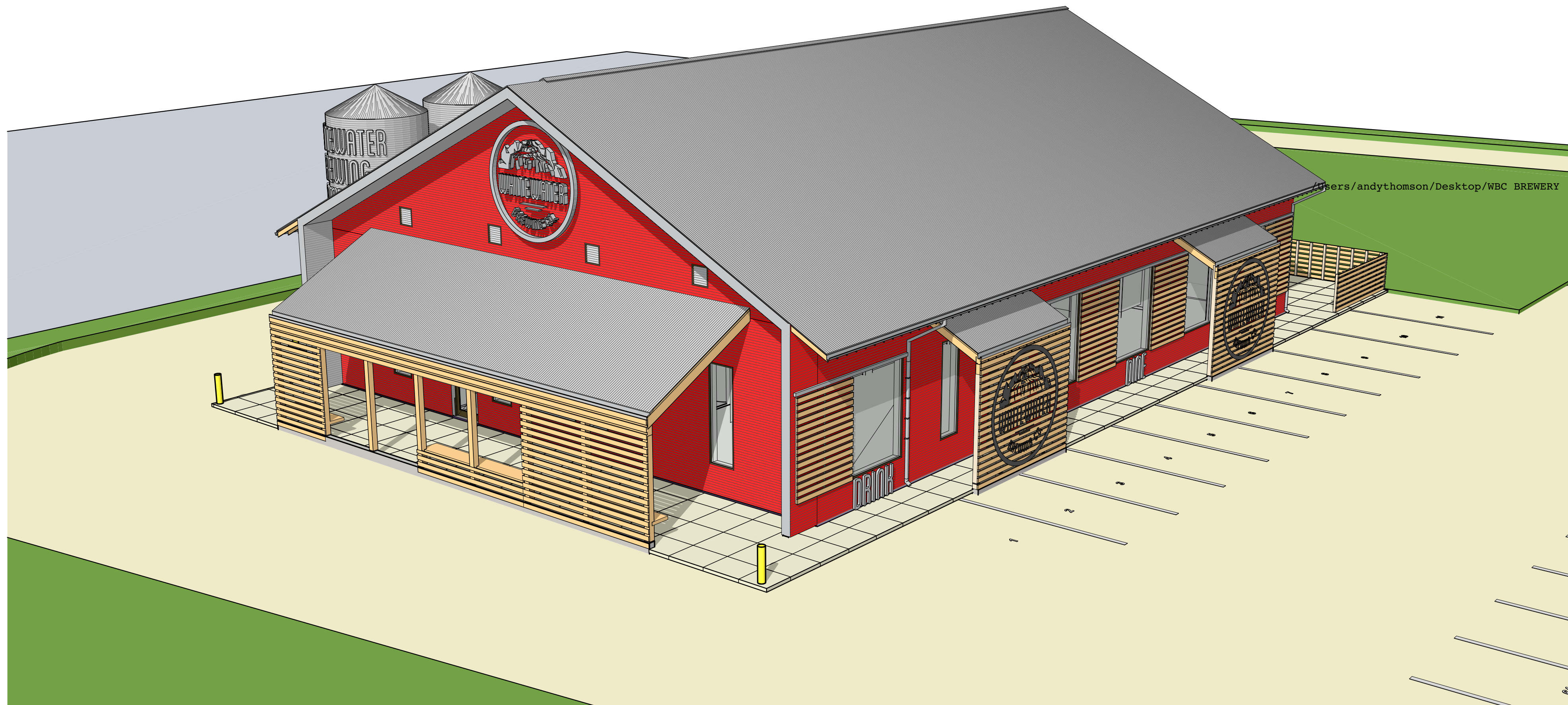
6. All work is to be carried out in conformance with the Code and Bylaws of the jurisdiction having jurisdiction.

7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the buildings represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

© Aside Architects, 2015

ISSUANCE	DATE DD/MM/YY
1	Coordination 1 May 23rd, 2015
2	Coordination 2 Aug 14th, 2015
3	Coordination 3 Sept 4th, 2015
4	Coordination 4 Sept 19th, 2015
5	Coordination 5 Sept 25th, 2015
5	PERMIT SET OCT 9th, 2015
6	

6 Patio  
SCALE: 1/4" = 1'-0"



3 HWY Corner Aerial  
SCALE: 1/4" = 1'-0"



aside architects  
FR205-33 Beaver Lake  
Rd., RR#1  
Trent Lakes, ON., K0L 1J0  
neil@asidearchitects.ca  
andy@asidearchitects.ca  
P. 705 812 2451  
C. 416 841 6963  
C. 613 406 5254

project contact: Andy Thomson



**Whitewater Brewery**  
project # 2014-003  
Whitewater Brewing  
Company  
Hwy 17  
Cobden, ON

3D Sketches 1/2  
**A9.02**