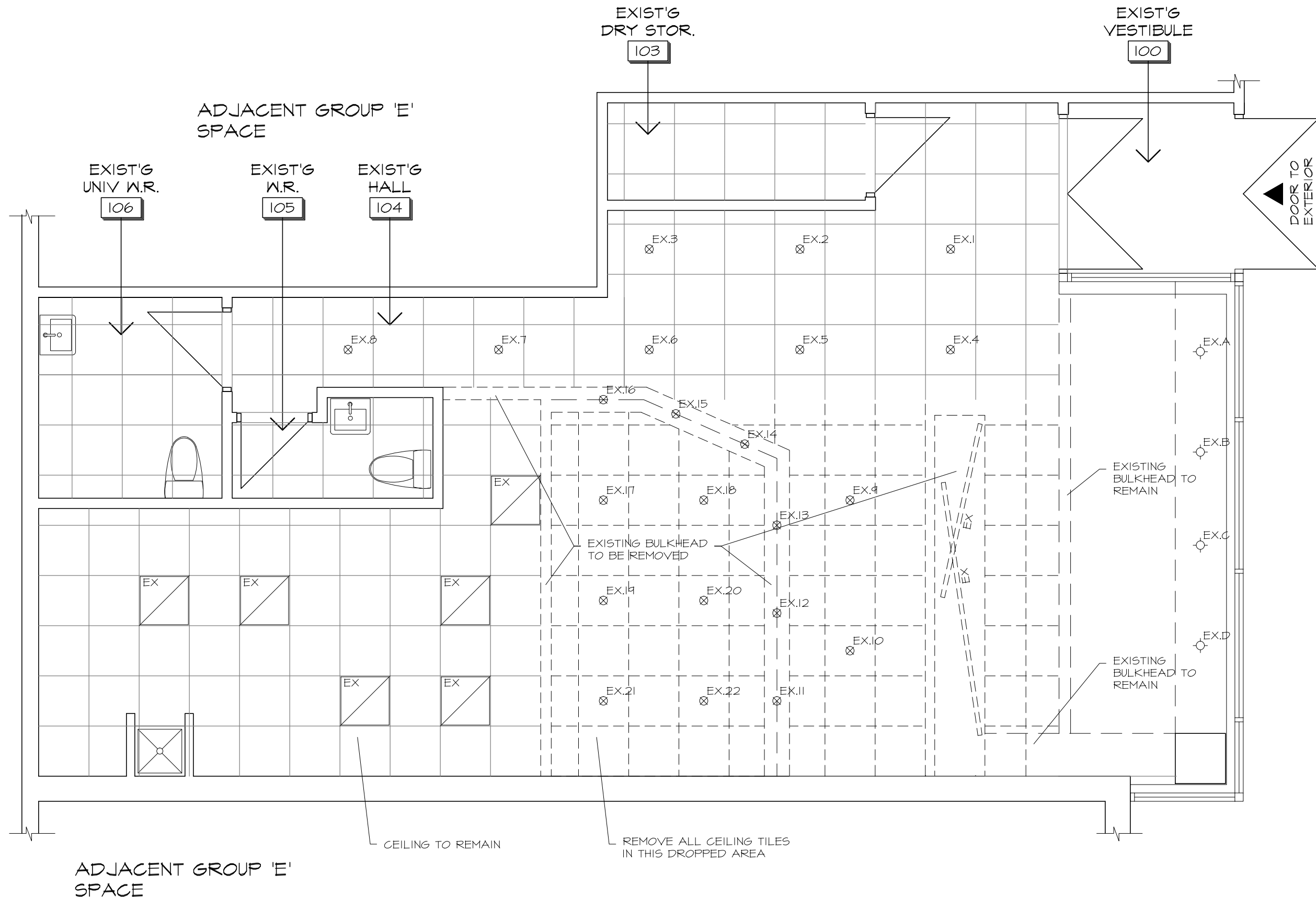


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 Brian J. Sindall
 Individual BCIN: 22145
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 of the Ontario Building Code.
 I am qualified, and the firm is registered,
 in the appropriate classes and categories.



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 (original signature appears in coloured ink)

no.	date	revision
18	MAR 2019	ISSUED W/ REVISIONS TO FRONT COUNTER AND FLOOR FINISHES
7	MAR 2019	ISSUED FOR PERMIT
27	FEB 2019	ISS'D FOR LANDLORD REVIEW

DRAWING:
**EXISTING FLOOR PLAN W/
 DEMOLITION & CEILING**

PROJECT
NEW TENANT FIT UP
UNIT 102
900 EXHIBITION WAY
OTTAWA, ONTARIO

project no.	W-101
drawn by	BJ5 22145
B.C.I.N.	105621
date	FEB 2019
scale	1/4" = 1'-0"

drawing number
X1

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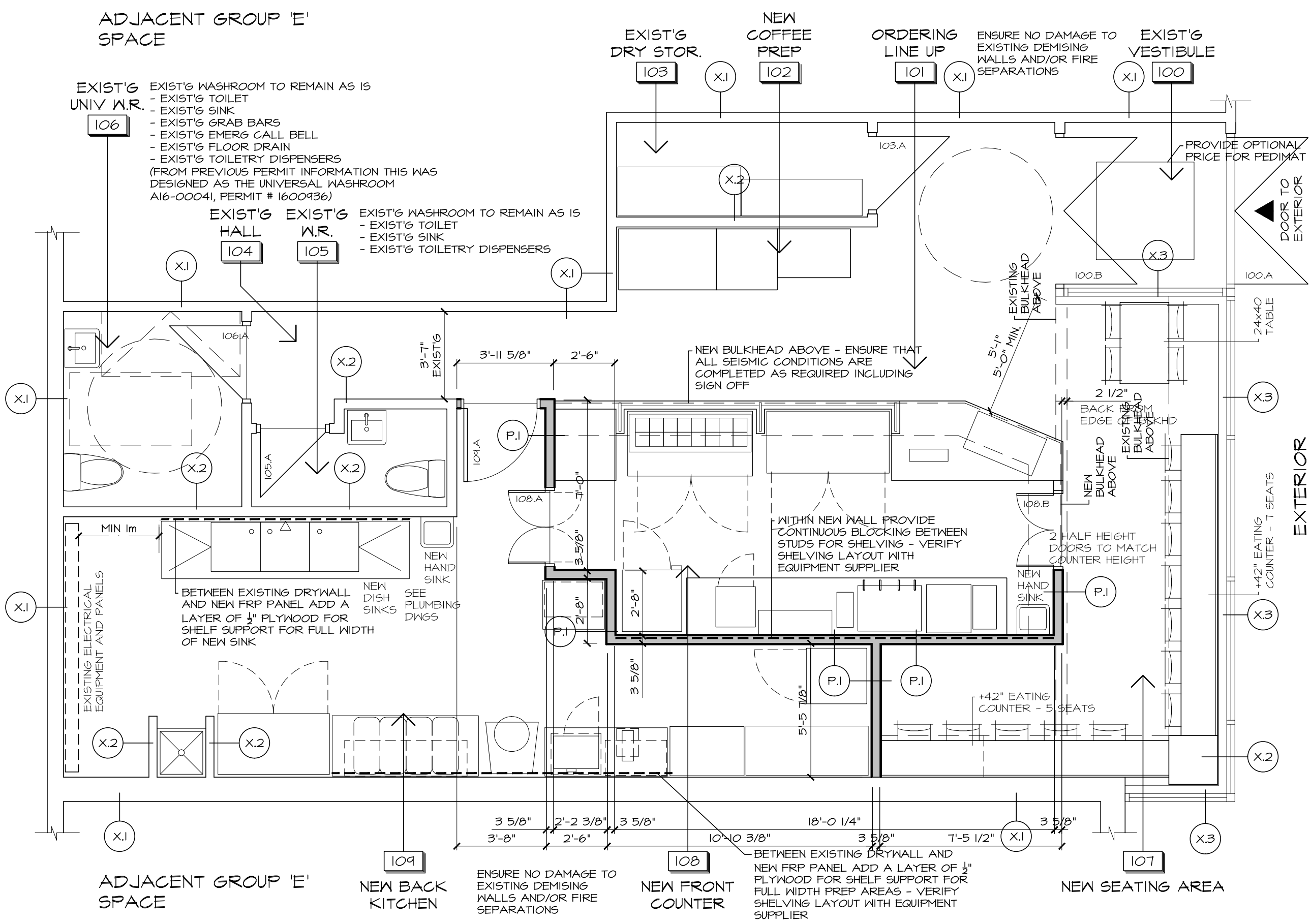
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DRAWING:
**FLOOR PLAN
 OVERALL LAYOUT**

PROJECT
**NEW TENANT FIT UP
 UNIT 102
 900 EXHIBITION WAY
 OTTAWA, ONTARIO**

project no.	W-101
drawn by	BJ5 22145
B.C.I.N.	105621
date	FEB 2019
scale	1/4" = 1'-0"

drawing number
A2.1



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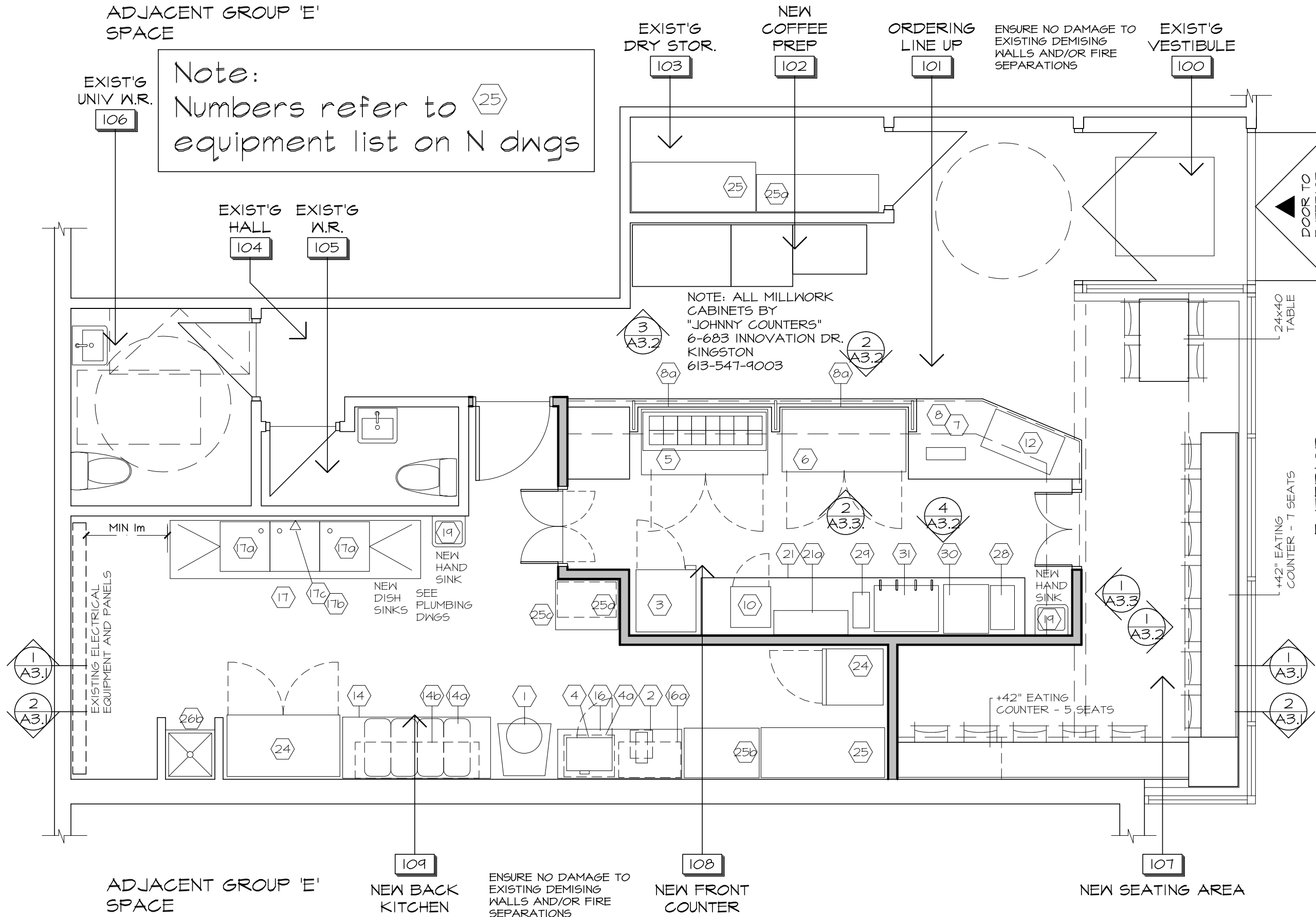
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no.	date	revision

DRAWING:
**FLOOR PLAN
 EQUIPMENT**

PROJECT
**NEW TENANT FIT UP
 UNIT 102
 900 EXHIBITION WAY
 OTTAWA, ONTARIO**

project no.	W-101
drawn by	BJ5 22145
B.C.I.N.	105621
date	FEB 2019
scale	1/4" = 1'-0"

drawing number
A2.2



DOOR TO EXTERIOR

EXTERIOR

24x40 TABLE

+42" EATING COUNTER - 7 SEATS

+42" EATING COUNTER - 5 SEATS

ENSURE NO DAMAGE TO EXISTING DEMISING WALLS AND/OR FIRE SEPARATIONS

Note:
 Numbers refer to
 equipment list on N dwgs

NOTE: ALL MILLWORK CABINETS BY "JOHNNY COUNTERS" 6-683 INNOVATION DR. KINGSTON 613-547-9003

ADJACENT GROUP 'E' SPACE

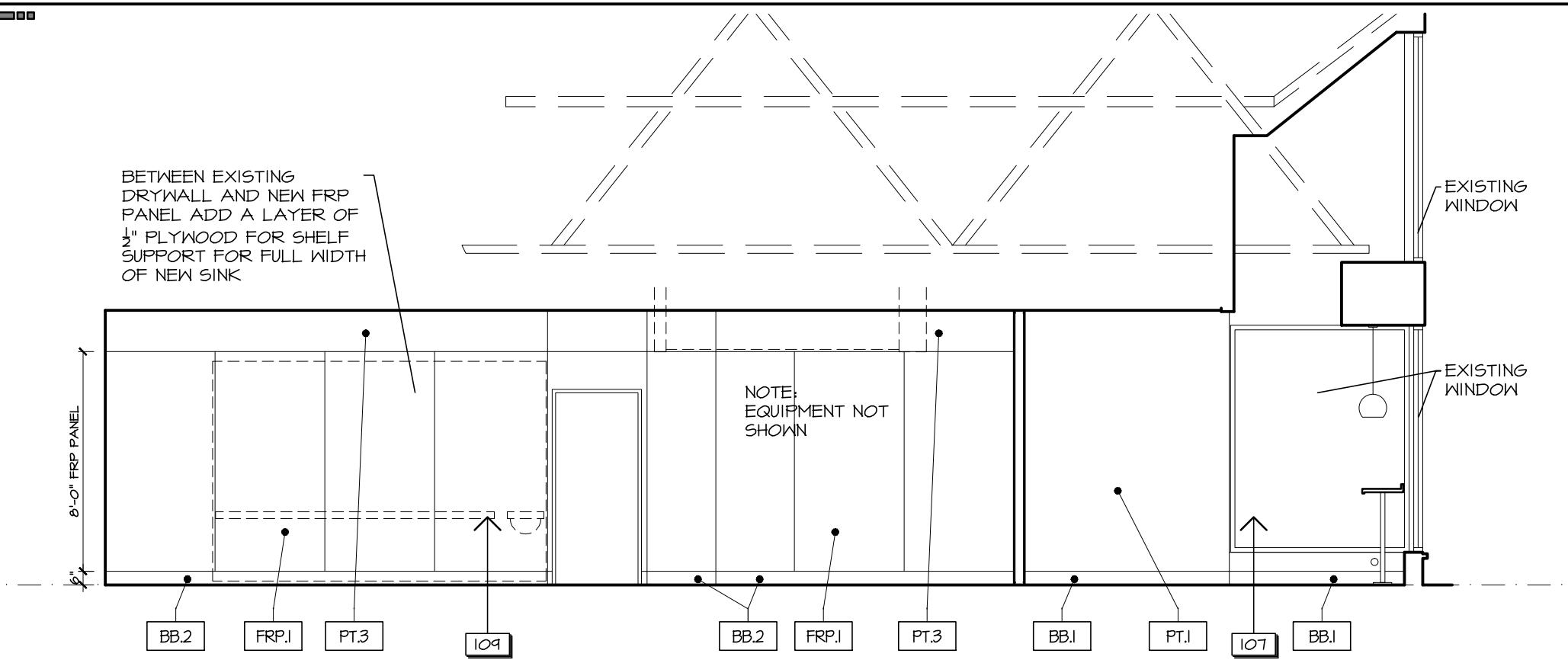
ADJACENT GROUP 'E' SPACE

NEW BACK KITCHEN

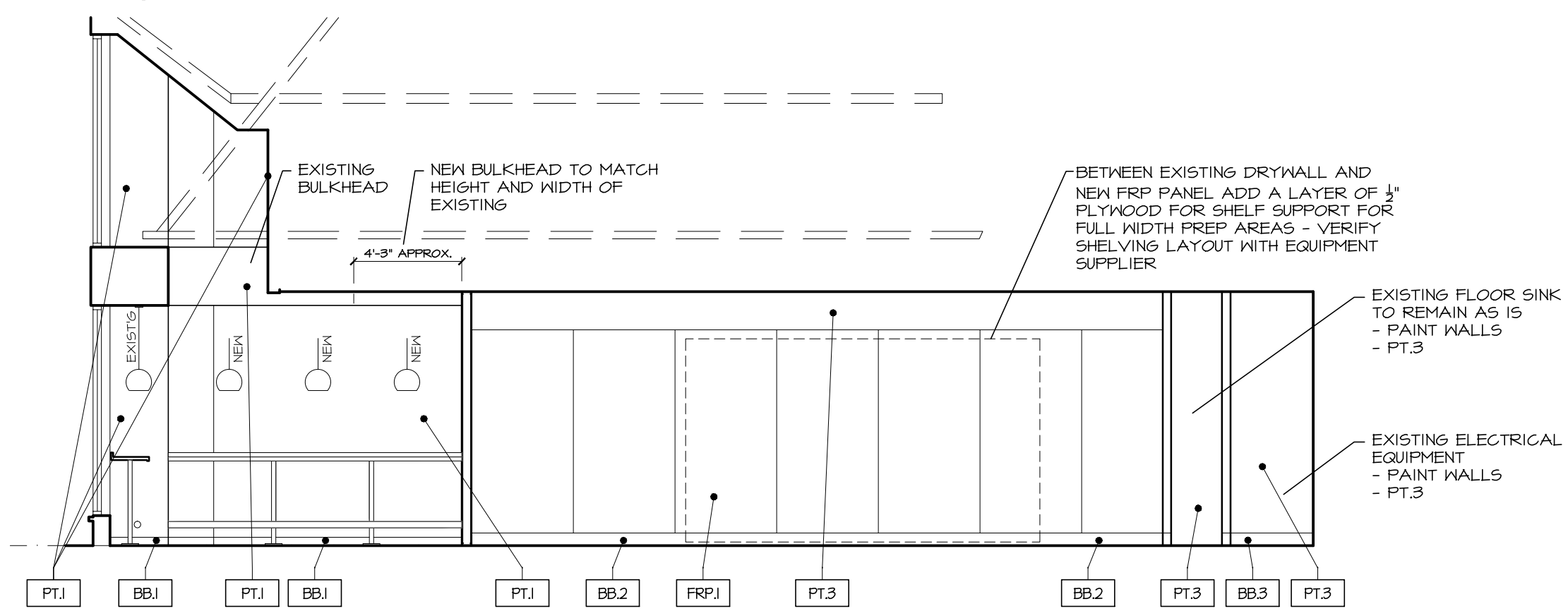
NEW FRONT COUNTER

NEW SEATING AREA

Construction Lines



1 | INTERIOR ELEVATION
A3.1 | SCALE: 3/16" = 1'-0"



2 | INTERIOR ELEVATION
A3.1 | SCALE: 3/16" = 1'-0"

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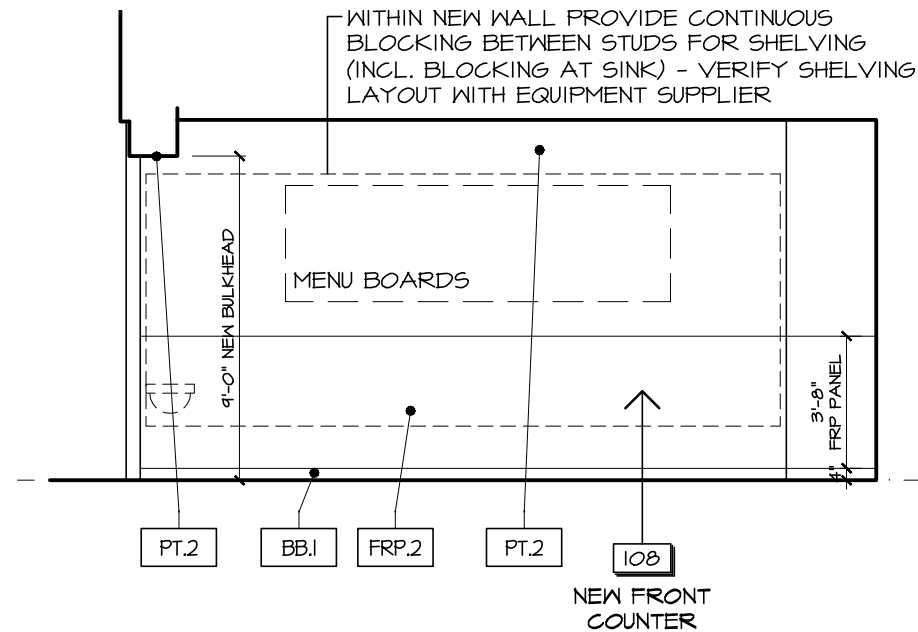
DRAWING:
INTERIOR ELEVATIONS

PROJECT
NEW TENANT FIT UP
UNIT 102
900 EXHIBITION WAY
OTTAWA, ONTARIO

project no.	W-101
drawn by	BJ5 22145
B.C.I.N.	105621
date	FEB 2019
scale	1/4" = 1'-0"

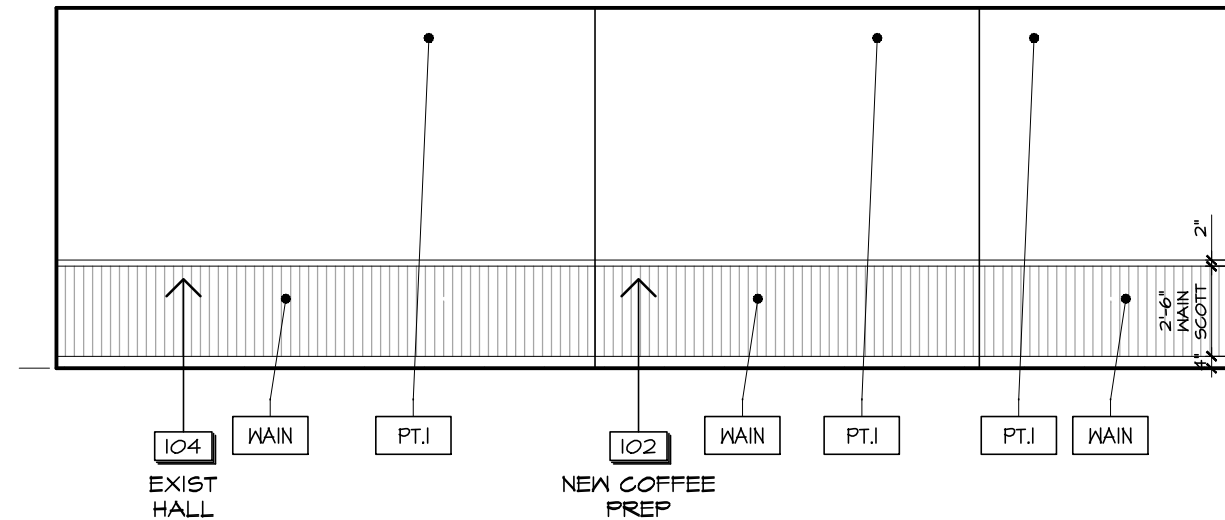
drawing number
A3.1

Construction Lines



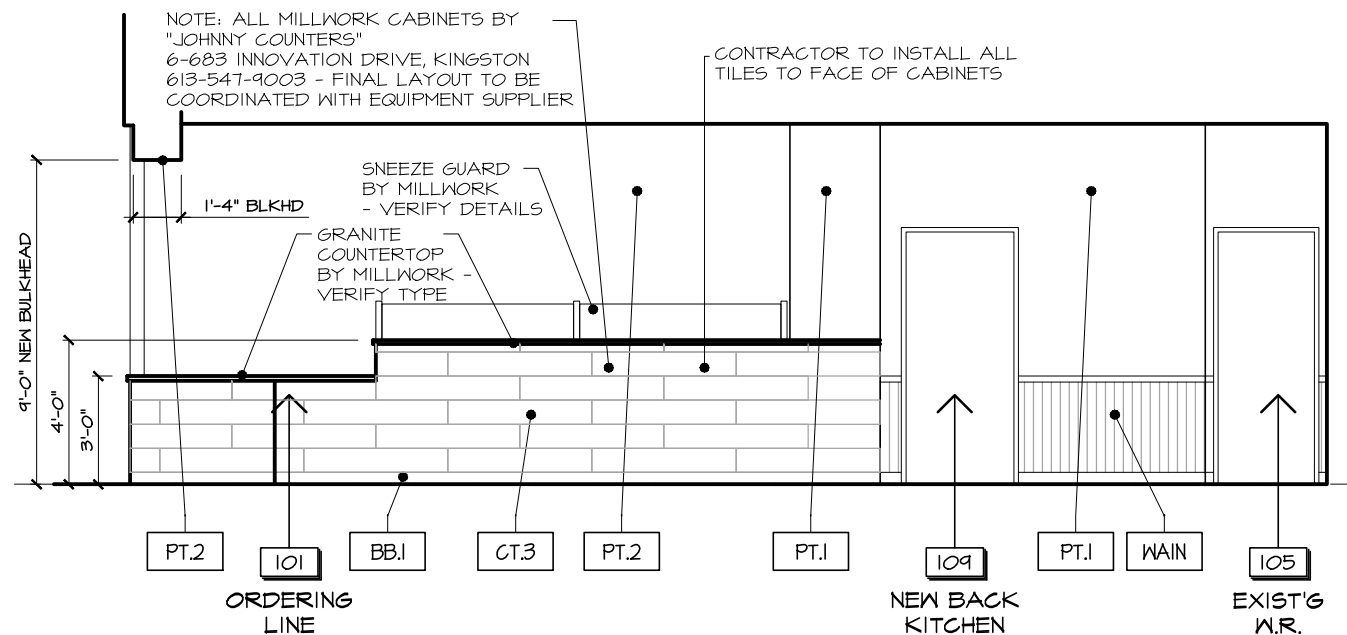
4 | INTERIOR ELEVATION

A3.2 | SCALE: 3/16" = 1'-0"



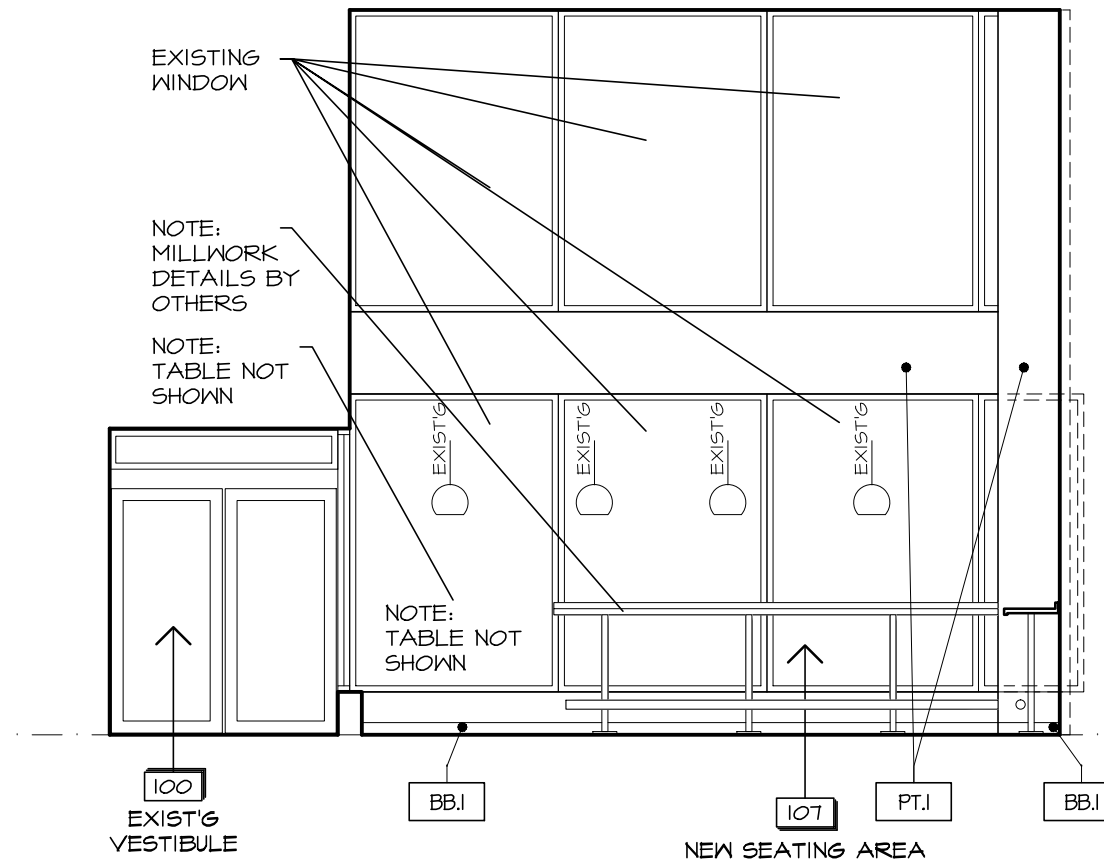
3 | INTERIOR ELEVATION

A3.2 | SCALE: 3/16" = 1'-0"



2 | INTERIOR ELEVATION

A3.2 | SCALE: 3/16" = 1'-0"



1 | INTERIOR ELEVATION

A3.2 | SCALE: 3/16" = 1'-0"

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DRAWING:
INTERIOR ELEVATIONS

PROJECT
NEW TENANT FIT UP
 UNIT 102
 900 EXHIBITION WAY
 OTTAWA, ONTARIO

project no.	W-101
drawn by	BJ5 22145
B.C.I.N.	105621
date	FEB 2019
scale	1/4" = 1'-0"

drawing number
A3.2



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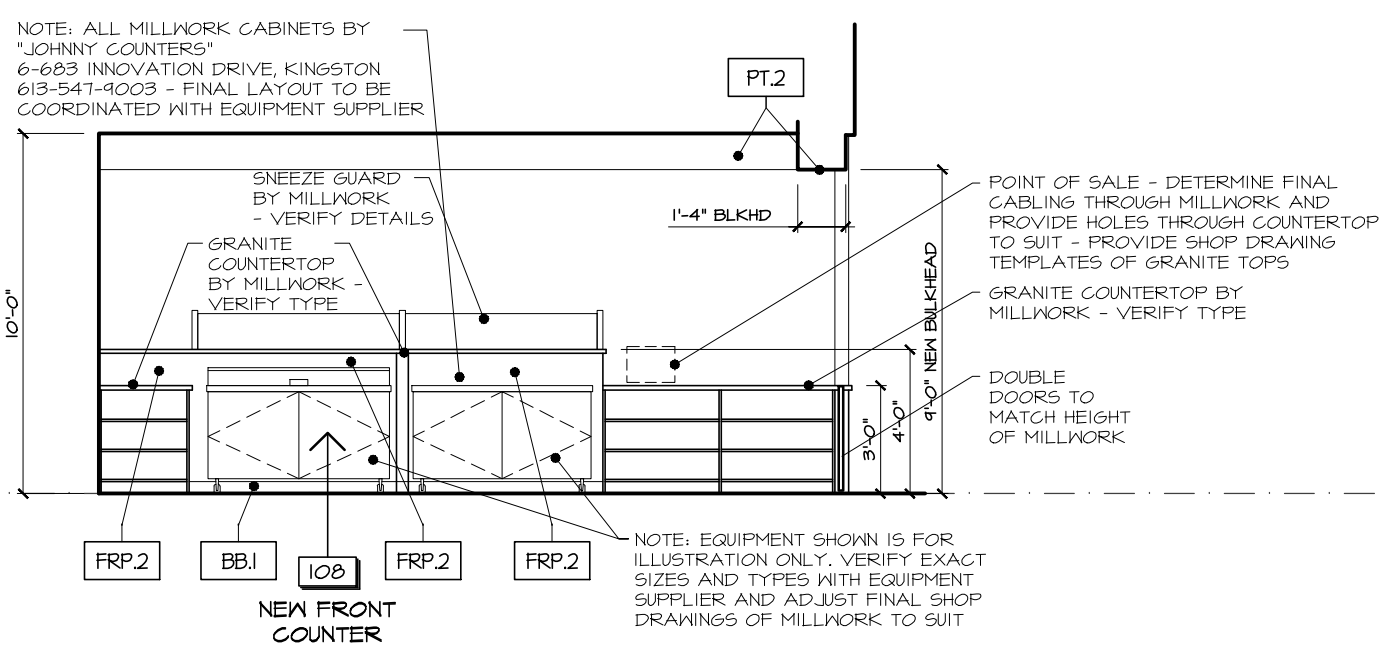
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DRAWING:
INTERIOR ELEVATIONS

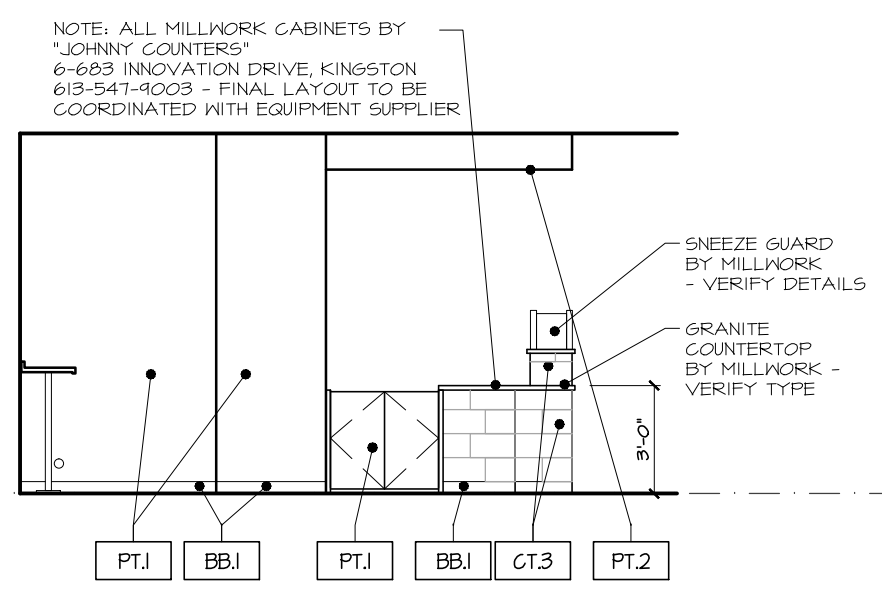
PROJECT
NEW TENANT FIT UP
 UNIT 102
 900 EXHIBITION WAY
 OTTAWA, ONTARIO

project no.	W-101
drawn by	BJ5 22145
B.C.I.N.	105621
date	FEB 2019
scale	1/4" = 1'-0"

drawing number
A3.3

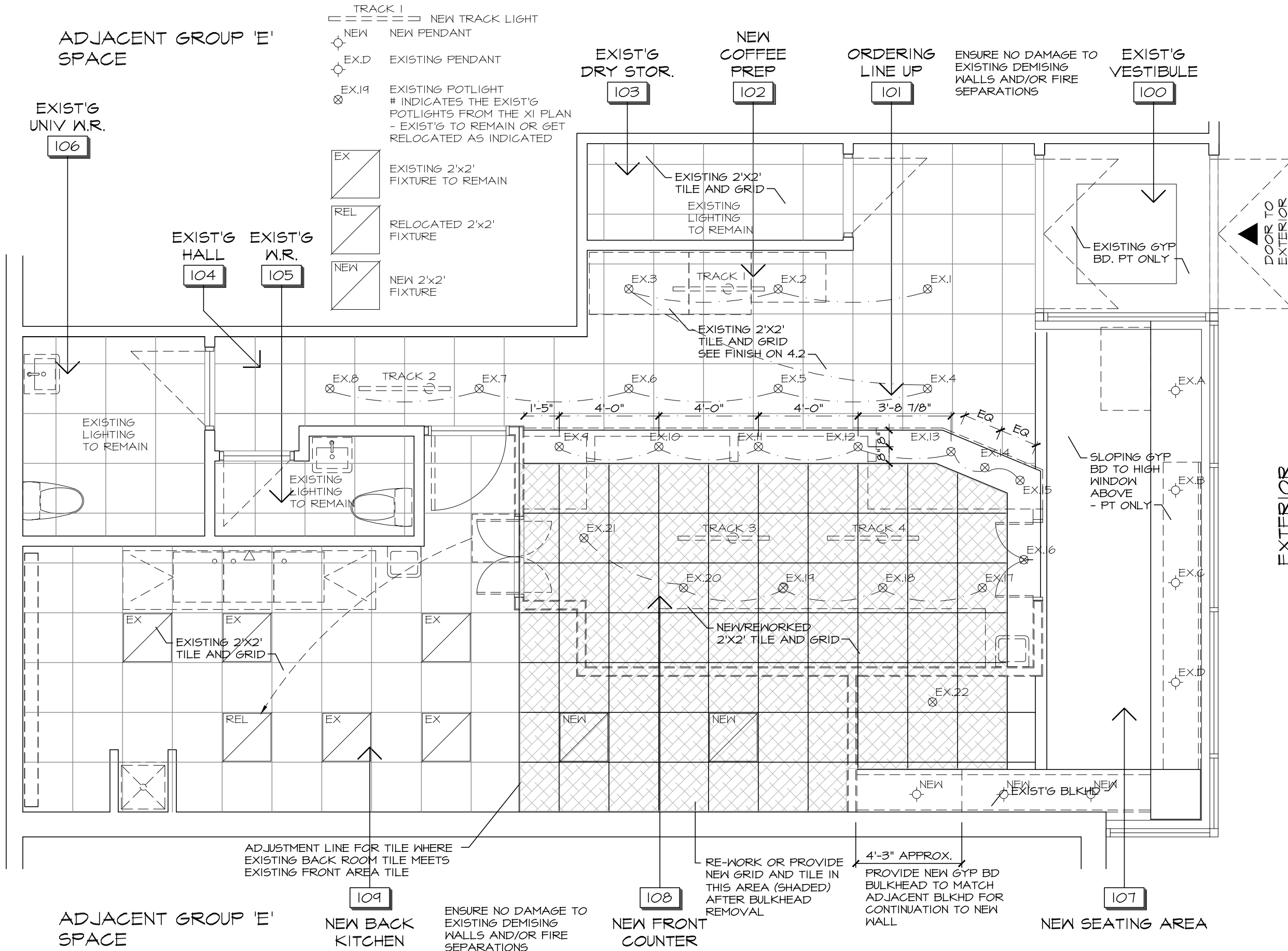


2 | INTERIOR ELEVATION
 A3.3 SCALE: 3/16" = 1'-0"



1 | INTERIOR ELEVATION
 A3.3 SCALE: 3/16" = 1'-0"

Construction Lines



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DRAWING:
REFLECTED CEILING PLAN

PROJECT
NEW TENANT FIT UP
UNIT 102
900 EXHIBITION WAY
OTTAWA, ONTARIO

project no.	W-101	drawing number	A4.1
drawn by	BJ5 22145		
B.C.I.N.	105621		
date	FEB 2019		
scale	1/4" = 1'-0"		

EXTERIOR

DOOR TO EXTERIOR

SLOPING GYP BD TO HIGH WINDOW ABOVE - PT ONLY

ENSURE NO DAMAGE TO EXISTING DEMISING WALLS AND/OR FIRE SEPARATIONS

ENSURE NO DAMAGE TO EXISTING DEMISING WALLS AND/OR FIRE SEPARATIONS

RE-WORK OR PROVIDE NEW GRID AND TILE IN THIS AREA (SHADED) AFTER BULKHEAD REMOVAL

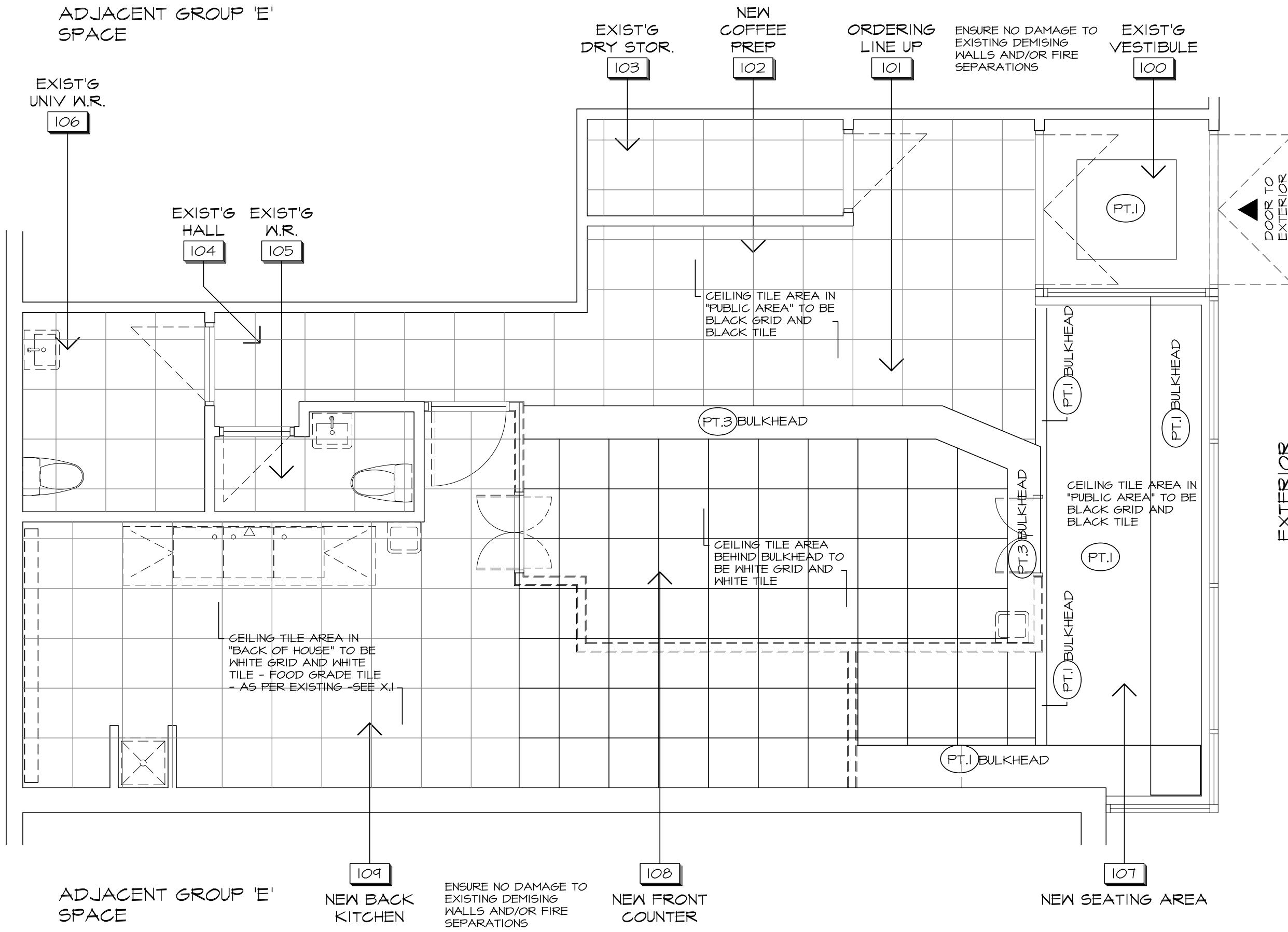
4'-3" APPROX. PROVIDE NEW GYP BD BULKHEAD TO MATCH ADJACENT BLKHD FOR CONTINUATION TO NEW WALL

ADJUSTMENT LINE FOR TILE WHERE EXISTING BACK ROOM TILE MEETS EXISTING FRONT AREA TILE

ADJACENT GROUP 'E' SPACE

ADJACENT GROUP 'E' SPACE

Construction Lines



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EXTERIOR

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DRAWING:
**REFLECTED CEILING PLAN
 CEILING FINISHES**

PROJECT
**NEW TENANT FIT UP
 UNIT 102
 900 EXHIBITION WAY
 OTTAWA, ONTARIO**

project no.	W-101
drawn by	BJ5 22145
B.C.I.N.	105621
date	FEB 2019
scale	1/4" = 1'-0"

drawing number
A4.2

Construction Lines

GENERAL NOTES:

EXAMINE SITE AND ASCERTAIN EXTENT AND NATURE OF ALL CONDITIONS.

PERFORM WORK IN ACCORDANCE WITH THE CURRENT EDITION OF THE ONTARIO BUILDING CODE AND ALL OTHER CODES BY THE CORRESPONDING AUTHORITIES

BE RESPONSIBLE FOR THE SECURITY OF THE SITE AND BUILDING

CARRY OUT WORK IN ACCORDANCE WITH BEST TRADE PRACTICES AND MANUFACTURERS DIRECTIONS FOR SPECIFIC PRODUCTS

SUBMIT FOR REVIEW, ALL APPROPRIATE SHOP DRAWINGS PRODUCT DATA AND SAMPLES FOR MATERIALS AND PRODUCTS TO BE UTILIZED

TEMPORARY FACILITIES:

CONFIRM WITH OWNER THE USE OF THE EXISTING WASHROOM FACILITIES FOR SITE CREWS AND MAKE ARRANGEMENTS FOR CLEANING AND CARE OF THE FACILITIES

VERIFY LOCATION OF SUITABLE POWER AND WATER REQUIREMENTS FOR CONSTRUCTION PROCESS

CONSTRUCTION SAFETY

- OBSERVE AND ENFORCE CONSTRUCTION SAFETY MEASURES REQUIRED BY CANADIAN CONSTRUCTION SAFETY CODE, PROVINCIAL GOVERNMENT, WORKER'S COMPENSATION, MUNICIPAL STATUTES AND ALL AUTHORITIES HAVING JURISDICTION.
- SUPPLY AND MAINTAIN ADEQUATE TEMPORARY FIRE PROTECTION EQUIPMENT.

MATERIAL, EQUIPMENT, PROTECTION

- USE ONLY NEW MATERIAL AND EQUIPMENT EXCEPT WHERE NOTED OTHERWISE.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT TO BE STORED, APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED IN STRICT ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.
- ITEMS SHOWN AS NIC (NOT IN CONTRACT) WILL BE PROVIDED BY OTHERS. TAKE DELIVERY AND INSTALL ALL ITEMS INCLUDING PLUMBING, MECHANICAL AND ELECTRICAL CONNECTIONS.
- COVER AND PROTECT ALL SURFACES FROM DAMAGE. REPLACE AND OR REFINISH WHERE NECESSARY.
- KEEP BUILDING AND SITE FREE FROM DEBRIS AT ALL TIMES.

MINIMUM STANDARDS

- MATERIALS SHALL BE NEW AND WORK CONFORM TO THE MINIMUM APPLICABLE STANDARDS OF THE CANADIAN GENERAL STANDARDS BOARD, THE CANADIAN STANDARDS ASSOCIATION, THE ONTARIO BUILDING CODE AND ALL APPLICABLE PROVINCIAL AND MUNICIPAL CODES.

SHOP DRAWINGS

- SUBMIT FOR THE OWNER'S REVIEW, FIVE (5) COPIES OF EACH SHOP DRAWING.
- THE REVIEW IS FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT AND DOES NOT MEAN APPROVAL OF THE DESIGN DETAILS INHERENT IN THE SHOP DRAWINGS, RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR. SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR ERRORS OR OMISSIONS IN THE SHOP DRAWINGS OR OF HIS RESPONSIBILITY FOR MEETING ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- DO NOT COMMENCE MANUFACTURE OR ORDER MATERIALS BEFORE SHOP DRAWINGS ARE REVIEWED.

SAMPLES

- SUBMIT SAMPLES OF SUFFICIENT SIZE AND QUANTITY FOR THE APPROVAL OF THE OWNER. DO NOT ORDER MATERIALS UNTIL APPROVAL IS RECEIVED.

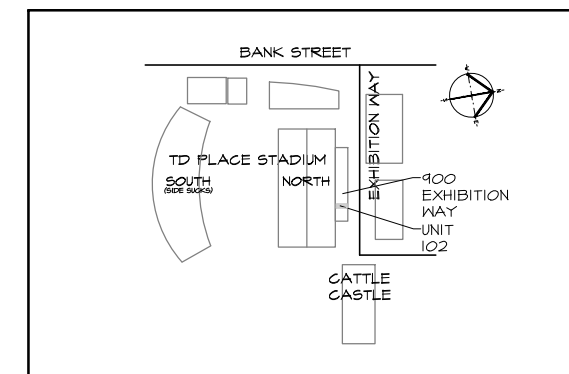
AT COMPLETION

- ENSURE SITE IS COMPLETELY CLEAR OF ALL DEBRIS.
- CLEAN ALL INTERIOR AND EXTERIOR SURFACES INCLUDING WINDOWS AND LEAVE BUILDING SUITABLE FOR OCCUPANCY.

Original OBC analysis based upon a site visit and not on base building drawings. In this scope of work for the interior alteration, there is no change to exits, occupant loads, fire separations, exit lighting. Building classification and use of tenant space remains the same.

Ontario Building Data Matrix Parts 3 & 9			OBC Reference
Project Description: Tenant Fit-up	<input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use	<input type="checkbox"/> Part 11 <input checked="" type="checkbox"/> Part 3	
Major Occupancy(s)	GROUP E - MERCANTILE		3.1.2.1.(1) and 3.1.2.6
Building Area (m ²)	Existing 1247 New ESTIMATED ONLY - SEE BASE BLDG DWGS	Total	1.1.3.2
Tenant Area (m ²)	Existing +/- 105 New	Total	1.1.3.2
Number of Stories	Above Grade 1	Below Grade 0	3.2.1.1, 1.1.3.2
Height of Building (m)	+/- 6.0		
Number of Streets/Access Routes	1		3.2.2.10, 3.2.5.5
Building Classification	SEE BASE BLDG DWGS GROUP E - up to 2 storeys		3.2.2.61
Sprinkler System - EXISTING	<input checked="" type="checkbox"/> Entire building <input type="checkbox"/> Basement and Ground Floor <input type="checkbox"/> In lieu of roof rating <input type="checkbox"/> Not required		3.2.2.61 3.2.1.5 3.2.2.17
Standpipe Required	SEE BASE BLDG DWGS	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.9 SEE BASE BLDG DWGS
Fire Alarm Required	SEE BASE BLDG DWGS	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.4 SEE BASE BLDG DWGS
Water Service/Supply is adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		SEE BASE BLDG DWGS
High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.6
Permitted Construction	<input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible		
Actual Construction	<input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible		
Mezzanine(s) Area m ²	NOT APPLICABLE		3.2.1.1.(3)(b)
Occupant load based upon	<input type="checkbox"/> m ² /person <input checked="" type="checkbox"/> Design of building		3.1.17
Ground Floor:	Tenant Occupancy Load to be : 30 PEOPLE - 15 each sex Based upon Table 3.7.4.3.D, 1 water closet is to be provided per sex - existing 1 per sex provided		3.7.4.3.D
Barrier-free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (explain)		3.8
Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.3.1.2.(1) & 3.3.1.19(1)
Required Fire Resistance Rating (FFR)	Horizontal Assemblies	Listed Design No. or Description (SB-3)	3.2.2.61
	Floors	N/A see base building drawings	
	Roof	N/A see base building drawings	
	FRR of Supporting Members	Listed Design No. or Description (SB-3)	
	Floors	N/A see base building drawings	
Roof	N/A see base building drawings		

OBC MATRIX



LOCATION PLAN

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DRAWING:
NOTES

PROJECT
NEW TENANT FIT UP
UNIT 102
900 EXHIBITION WAY
OTTAWA, ONTARIO

project no. W-101
drawn by BJS
22145
B.C.I.N. 105621
date FEB 2019
scale 1/4" = 1'-0"

drawing number

N1

Construction Lines

EQUIPMENT SCHEDULE

ItemNo	Quantity	Category	Mfr	Model
1	1	Planetary Mixer	Globe Canada	SP40
2	1	Planetary Mixer	Globe Canada	SP8
3	1	Convection Oven, Electric	Blue Seal Canada	E32D5
4	1	Microwave Oven	ACP Canada	RCS10TS
4A	1	Shelving, Wall-Mounted	QUEVAN	24-24-SHELF
5	1	Sandwich / Salad Preparation Refrigerator	True Canada	TSSU-60-16-HC
6	1	Reach-In Undercounter Refrigerator	True Canada	TUC-60-HC
7	1	POS SYSTEM	Custom	POS
8	1	FRONT COUNTER	Custom	COUNTER
8A	1	SNEEZE GUARD	Custom	SNEEZE GUARD
9		Spare Number		
10	1	Display Case, Hot Food, Countertop	Hatco Canada	FDWD-1X
11		Spare Number		
12	1	CUSTOM DISPLAY CASE	Custom	DISPLAY CASE
13		Spare Number		
14	1	STAINLESS WORK TABLE	Tarrison	WT4BS-3072-LB3S
14A	1	Wire Shelving	Tarrison	TS-S1460Z
14A	1	Wire Shelving	Tarrison	TS-S1860Z
14B	4	Ingredient Bin	Cambro	IBS20148
16	3	Work Table, Stainless Steel Top	Tarrison	TA-WT4BS-3072
16A	1	Wire Shelving	Tarrison	TS-S1830Z
16A	1	Wire Shelving	Tarrison	TS-S1430Z
17		Three (3) Compartment Sink	EFI Sales Canada	S1824-3B
17A	2	Wire Shelving	Tarrison	TS-S1448Z
17A	2	Wire Shelving	Tarrison	TS-S1848Z
17B	1	Pre-Rinse Faucet Assembly	T&S Brass	5PR-8W00
17C	1	Add On Faucet, for Pre Rinse Faucet	T&S Brass	B-0157
19	2	Hand Sink	Tarrison	TA-HSF-14SP
20	1	Ice Cuber with Bin	Hoshizaki (Permul & RSL)	KM-61BAH
21	1	Work Table, Stainless Steel Top	Tarrison	TA-WT4BS-3072
21A	8	Shelving, Wall-Mounted	Tarrison	TA-WS-1236
22	1	MILLWORK COUNTER W/ SINK BY OTHERS	Custom	CUSTOM
23		Spare Number		
24	1	Reach-In Refrigerator	True Canada	T-72-HC
25	10	Wire Shelving	Tarrison	TS-S2460Z
25A	5	Wire Shelving	Tarrison	TS-S1860Z
25B	5	Wire Shelving	Tarrison	TS-S2448Z
25C	1	Dunnage Rack	Tarrison	TS-DR2430Z
25D	1	Wire Shelving	Tarrison	TS-S1830Z
26	1	Mop Sink	Tarrison	TA-MS-16206
26A	1	Service Faucet	T&S Brass	B-0665-BSTR
26B	1	Mop Broom Holder	Rubbermaid Canada	FG199200GRAY
27	1	GREASE TRAP	Custom	GREASE TRAP
28	1	Coffee Dispenser, Cold Brew	SpecEqp	903/NITROV2PX
29	1	Coffee Grinder	Nuova Simonelli	MYTHOS-CLIMA-PRO
30	8	Coffee Brewer	FETCO	CBS-2152XTS
31	1	Espresso Cappuccino Machine	Nuova Simonelli	AURELIA II 2GR DIGIT
32	1	Refrigerated Merchandiser	True Canada	GDM-15-RTO-HC-LD
33		Spare Number		
34		Spare Number		
36		Spare Number		
36	9	BAR STOOLS	Custom	STOOLS
36A	2	BAR TOPS	Custom	BAR TOPS
37	1	MILLWORK WASTE / RECYCLE	Millwork	WASTE

Note:
Equipment List taken from dwgs produced by RH (RUSSEL HENDRIX), dated 11 Jan 2019.
This is for reference only.

INTERIOR PARTITION TYPES:

- X.1 EXISTING INTERIOR DEMISING WALL
ENSURE NO DAMAGE TO EXISTING DEMISING WALLS AND/OR FIRE SEPARATIONS
- X.2 EXISTING INTERIOR TENANT WALL
- X.3 EXISTING EXTERIOR WALL
ENSURE NO DAMAGE TO EXISTING DEMISING WALLS AND/OR FIRE SEPARATIONS
- P.1 1/2" GYPSUM BOARD
3 5/8" METAL STUDS
1/2" GYPSUM BOARD
COMPLETE ASSEMBLY TO U/S CEILING

INTERIOR WALL STUDS TO BE 20 ga U.N.O.
PROVIDE HORIZ. BRACING AT 5'-0" IN INTERIOR WALL ST'L STUD ASSEMBLIES
LAP ANY STUD CONNECTION MIN 2'-0"

BULKHEAD CONSTRUCTION:

TYPICAL BULKHEAD CONSTRUCTION:
1/2" GYPSUM BOARD
3 5/8" METAL STUDS
1/2" GYPSUM BOARD
STUD ASSEMBLY TO U/S STRUCTURE
GYP BD TO 4" ABOVE CEILING LEVEL

ENSURE THAT ALL SEISMIC CONDITIONS ARE COMPLETED AS REQUIRED INCLUDING SIGN OFF

LANDLORD BASE BUILDING GENERAL NOTES:

NOTE:
THIS INFORMATION TAKEN FROM LANDLORD COMMENTS MARKED UP ON ISSUED FOR PERMIT DRAWINGS DATED 4 MARCH 2019. ALSO COMMENTS ARE FROM A LETTER TO THE TENANT FROM THE LANDLORD'S PLAN REVIEW DATED 8 MARCH 2019. CONTRACTOR TO REVIEW ALL LANDLORD REQUIREMENTS.

PROVIDE INSURANCE AS PER LANDLORD GUIDELINES.

FOR ANY GARBAGE REMOVAL AND/OR BIN PLACEMENT, RECEIVE APPROVAL FROM PROPERTY MANAGEMENT. VERIFY PROCEDURES FOR WASTE REMOVAL WITH PROPERTY MANAGER

COORDINATE ANY CORING OR PLUMBING WORK WITH PROPERTY MANAGER AND EXISTING ADJACENT TENANTS.

FOR ANY NOISE WORK, RECEIVE APPROVAL FROM THE PROPERTY MANAGER. VERIFY HOURS OF WORK.

ENSURE THAT ANY FIRE ALARM VERIFICATIONS OR POWER INTERRUPTIONS OR SHUT OFFS ARE COORDINATED WITH PROPERTY MANAGER. PROVIDE MINIMUM 48 HOURS ADVANCE NOTIFICATIONS.

ANY UNUSED PLUMBING ETC IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE TENANT TO ENSURE FULL COMPLETION.

ANY DAMAGE TO THE BASE BUILDING IS THE RESPONSIBILITY OF THE TENANT AND THE GENERAL CONTRACTOR.

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Information as per the O.B.C.,
Schedule I, Designer Information
Construction Lines
phone (613) 853-4653
Firm BCIN: 105621
Brian J. Sindall
Individual BCIN: 22145

I review and take responsibility
for the design work on behalf
of a firm registered under subsection 2.17.4
of the Ontario Building Code.
I am qualified, and the firm is registered,
in the appropriate classes and categories.



Brian J. Sindall, M.A.A.T.O. TG-1372
(original signature appears in coloured ink)

no.	date	revision
	18 MAR 2019	ISSUED W/ REVISIONS TO FRONT COUNTER AND FLOOR FINISHES
	7 MAR 2019	ISSUED FOR PERMIT
	27 FEB 2019	ISS'D FOR LANDLORD REVIEW

DRAWING:
NOTES

PROJECT
NEW TENANT FIT UP

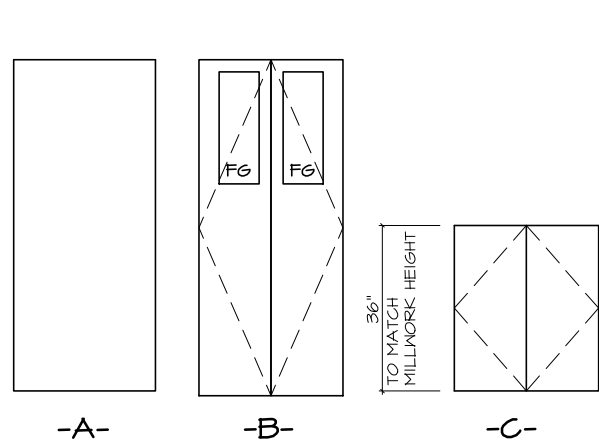
UNIT 102
900 EXHIBITION WAY
OTTAWA, ONTARIO

project no.	W-101	N2
drawn by	BJ5 22145	
B.C.I.N.	105621	
date	FEB 2019	
scale	1/4" = 1'-0"	

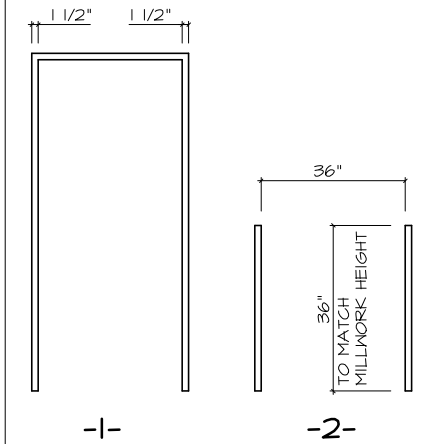
Construction Lines

DOOR AND FRAME SCHEDULE										
No.	DOOR				FRAME			FIRE RAT'G MIN.	GLAZ'G	REMARKS
	SIZE	TYPE	MAT	FIN	TYPE	MAT	FIN			
100.A	EXISTING	EXISTING H/C HARDWARE FROM PREVIOUS PERMIT C/W ELECTRICAL H/C ACTIVATION PADS AND OPENER								
100.B	EXISTING	EXISTING H/C HARDWARE FROM PREVIOUS PERMIT C/W ELECTRICAL H/C ACTIVATION PADS AND OPENER								
103.A	EXISTING	EXISTING HARDWARE TO REMAIN								
105.A	EXISTING	EXISTING HARDWARE TO REMAIN								
106.A	EXISTING	EXISTING H/C HARDWARE FROM PREVIOUS PERMIT C/W CLOSER, ELECTRICAL CALL SIGNAL ETC.								
108.A	2-18" SWING	B	ELIASON LWP-3-ALUMINUM OR BLACK, DOORS AND FRAME SUPPLIED BY RUSSELL HENDRIX							
108.B	2-18" SWING	C	SCW	PT	2	HM	PT		SPRING HINGES, KICK PLATE AT BOT. EACH SIDE	
109.A	36 X 84	A	SCW	PT	1	HM	PT		PUSHBUTTON UNICAN LOCK	

DOOR TYPES



FRAME TYPES



LEGEND

SCW SOLID CORE WOOD
 HM HOLLOW METAL
 PREF PREFINISHED
 WD WOOD
 ALUM. ALUMINUM
 FG FIXED GLASS PANEL

VERIFY ALL THROAT SIZES REQUIRED FOR EACH APPLICATION AND VERIFY FINISHES ON EACH SIDE OF EACH PARTICULAR PARTITION

METAL DOORS TO BE 20 ga. MIN.
 METAL FRAMES TO BE 16 ga. MIN.

FINISHES:

PAINT PT.?

PT.1 - PAINT 1
 FRONT OF HOUSE
 PRIMER & 2 COATS BEHR
 ULTRA-PURE WHITE EGGSHELL

PT.2 - PAINT 2 (PURPLE)
 FRONT OF HOUSE ACCENT COLOUR
 COLOUR TO BE:
 BEHR ULTRA FLAT/MATTE
 BASE: UL203
 #P560-6 "JUST A FAIRYTALE"
 MATTE INTERIOR PAINT
 AND PRIMER IN ONE

PT.3 - PAINT 3
 BACK OF HOUSE
 COLOUR TO BE:
 PRIMER & 2 COATS BEHR
 ULTRA-PURE WHITE SEMI GLOSS

PT.4 - PAINT 4
 WAINSCOTTING
 BEHR ULTRA-PURE BLACK, GLOSS

FRP PANELS FRP.?

FRP.1
 FIBREGLASS REINFORCED PLASTIC (FRP) PANEL
 4' x 8' SHEET
 "CRACKED ICE" SURFACE
 WHITE
 - PROVIDE COLOUR MATCHING MOLDINGS AND ADHESIVES AS PER MANUFACTURER'S INSTRUCTIONS

FRP.2
 FIBREGLASS REINFORCED PLASTIC (FRP) PANEL
 4' x 8' SHEET
 "CRACKED ICE" SURFACE
 BLACK
 - PROVIDE COLOUR MATCHING MOLDINGS AND ADHESIVES AS PER MANUFACTURER'S INSTRUCTIONS

LUXURY VINYL TILE LVT

LVT
 NEW "LUXURY VINYL TILE
 INDUSTRIAL VINYL - ARMSTRONG
 LVP NATURAL CREATIONS CLASSICS
 TP039 ROAN OAK CHARCOAL
 4" x 36"
 VERIFY FLOOR PATTERN

CERAMIC TILE CT.?

CT.X
 EXISTING CERAMIC TILE TO REMAIN

CT.1 - NOT APPLICABLE

CT.2
 NEW CERAMIC TILE:
 OLYMPIA - MONTAGNE SERIES
 UNGLAZED PORCELAIN 12X12 (OR APPROVED EQUAL).
 GROUT TO BE:
 PATTERN TO BE: STACKED
 ALSO SEE BASEBOARD NOTE

CT.3
 DISTRESSED WOOD TILE ALONG SERVING COUNTER - EV/GRAND CANYON GRIGIO 5.5A X 33.5A
 PATTERN TO BE: HORIZ. BRICK - SUPPLIER CALEDON TILE - 12 FISHERMAN DRIVE, UNIT 6 & 7, BRAMPTON ONTARIO 905-840-4433
 - ASK FOR SHARON

BASEBOARDS BB.?

BB.1
 BASEBOARD 1
 VINYL BASE ADHERED TO WALL
 COLOUR TO BE:
 BLACK

BB.2
 BASEBOARD 2
 UNGLAZED PORCELAIN TO MATCH FLOOR AS PER ABOVE
 6" HIGH CUT MATCHING TILE BASE
 C/W BRUSHED ALUMINUM SCHLUTER TRIM

WAINSCOTTING WAIN

WOOD PANEL WAINSCOTTING TO LOWER PORTION OF WALL TO +36" FROM FLOOR
 - 2" WOOD TOP CAP
 - 4" WOOD FOR BASEBOARD
 - ALL PAINT IN PT.4

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 Brian J. Sindall
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DRAWING:
NOTES

PROJECT
NEW TENANT FIT UP
 UNIT 102
 900 EXHIBITION WAY
 OTTAWA, ONTARIO

project no.	W-101	N3
drawn by	BJ5 22145	
B.C.I.N.	105621	
date	FEB 2019	
scale	1/4" = 1'-0"	