

**1** PROPOSED WORK AREA SITE PLAN  
 A1 Scale: 3/32" = 1'-0"

**GENERAL NOTES:**

- DO NOT SCALE THIS PLAN
- ONLY DRAWINGS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION UNLESS NOTED OTHERWISE
- ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE STANDARDS AND REGULATIONS.
- ALL WORKMANSHIP IS TO BE OF A STANDARD OR EQUAL IN ALL RESPECT GOOD BUILDING PRACTICE.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY ALL INFORMATION, DIMENSIONS AND WRITTEN SPECIFICATIONS. DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED MEASUREMENTS.
- ANY VARIANCES FROM THE DRAWINGS AND SPECIFICATION OR FROM CONDITIONS ENCOUNTERED ON THE JOB SITE, SHALL IMMEDIATELY REPORTED TO THE CONSULTANT.
- THE NEW EXTERIOR CLADDING (SIDING) SHALL BE MAIBEC (SAMPLE NO. L70622-351285-NG); STYLE (BRUSHED MODERN EM+ 1X6", NG, 2 COATS) AND COLOUR (MAIBEC 001, MAIBEC ULTRA WHITE) AS SELECTED BY THE OWNERS. THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNERS WITH MOCKUP SAMPLE PRIOR TO START OF WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE OF THE REMOVAL AND DISPOSAL OF EXISTING FLASHING AT THE FOUNDATION WALL AND ALL EXISTING WOOD SIDING.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL TEMPORARY WORKS RELATED TO FENCING, HOARDING, SHORING, STABILIZATION, DUST CURTAINS AND PROTECTION FROM WEATHER DURING THE ENTIRE CONSTRUCTION PROCESS TO THE OWNER'S SATISFACTION.

**MISCELLANEOUS:**

- CAULK OVER AND AROUND ALL EXTERIOR OPENINGS USING NON-HARDENING CAULKING COMPOUND.
- FLASH ALL CHANGES OF MATERIAL ON EXTERIOR WALLS
- ALL SIDING TO BE MIN. 8" ABOVE FINISH GRADE.
- ALL EXTERIOR TRIMS AROUND DOORS AND WINDOWS TO BE AS PER OWNERS RECOMMENDATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE OF COORDINATING THE TRIM WORK WITH THE OWNERS PRIOR TO THE START OF THE WORK.
- SEAL AROUND EXISTING OPENING WITH PEAL AND STICK ("BLUESKIN") MEMBRANE.

**SHEET METAL FLASHING AND TRIM:**

- SHEET METAL FLASHING SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BEST STANDARD PRACTICES; WITH JOINTS LOCKED, CLEATED, CAULKED AS REQUIRED AND EXPOSED EDGES HEMMED. AMPLE ALLOWANCE SHALL BE MADE IN ALL WORK FOR EXPANSION AND CONTRACTION.
- INSTALL ALL SHEET METAL CAPS, COUNTER FLASHING, AND ALL OTHER METAL FLASHING REQUIRED TO COMPLETE WORK.
- FORM TO PROFILES AS DETAILED UPON DRAWINGS, OR AS REQUIRED TO SUIT SITE CONDITIONS.
- FORM PIECES IN 2400 MM MAXIMUM LENGTHS AND MAKE ALLOWANCE FOR EXPANSION JOINTS.
- HEM EXPOSED EDGES ON UNDERSIDE 12 MM.
- MITRE AND SEAL CORNER WITH SEALANT.
- MITRE CORNERS SHALL BE STRAIGHT AND TRUE TO PROFILES SHOWN ON DRAWINGS, WITH FLAT SURFACES FEES OF DISTORTION AND FREE OF FACE NAILING.
- SHEET METAL SHALL BE MINIMUM 24 GAUGES (0.61MM) IN THICKNESS, COMMERCIAL QUALITY TO ASTM A526M, GALVANIZED WITH G90 ZING COATING CONFORMING TO ASTM A653M.
- WHERE METAL FLASHING IS IN CONTACT WITH DISSIMILAR METAL, USE SEPARATION SHEET OF BACK PAINT TO SUITABLE THICKNESS TO PREVENT ELECTROLYTIC ACTION.
- FINISH SHALL BE FACTORY APPLIED COATING WITH COLOUR AS PER OWNER'S SELECTION.
- SEALANTS SHALL BE ONE COMPONENT POLYURETHANE WITH COLOUR TO MATCH COLOUR OF FLASHING.

**WOOD NOTES:**

- ALL DIMENSIONAL LUMBER SHALL BE SPRUCE-PINE-FIR CATEGORY NO. 1/2 OR BETTER UNLESS OTHERWISE SPECIFIED ON PLANS.
- ALL WOOD WORK SHALL CONFORM TO CSA CAN 086.
- ALL EXTERIOR LUMBER SHALL BE **BROWN PRESERVATIVE TREATED AND UNINCISED**.
- ALL PLYWOOD TO BE EXTERIOR GRADE WATERPROOF MEETING THE REQUIREMENTS OF CSA0121 & CSA 0151
- ALL FLUSH MOUNT WOOD MEMBERS SHALL BE ANCHORED WITH JOIST HANGERS UNLESS OTHERWISE SPECIFIED ON PLANS.
- ALL LUMBER FASTENING SHALL BE COMMON WIRE NAILS MINIMUM 3.25" LONG UNLESS OTHERWISE SPECIFIED ON PLANS.

**DEFINITIONS:**

@	AT (SPACING C/C)
BOT.	BOTTOM
C/C	CENTRE TO CENTRE
COL.	COLUMN
EA.	EACH
E/W	EACH WAY
EX.	EXISTING
H.D.	HEAVY DUTY
mm	MILLIMETRES
MAX.	MAXIMUM
MIN.	MINIMUM
PFA	POINT LOAD FROM ABOVE
PLT	PLATE
RE/RE	REMOVE AND REPLACE
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE

**GENERAL SCOPE OF WORK:**

- THIS SCOPE OF WORK IS NOT INTENDED AS A STEP-BY-STEP DETAILED DESCRIPTION OF WORK BUT RATHER A GENERAL OUTLINE OF THE MAJOR STEPS REQUIRED. THE SCOPE OF WORK MAY BE ADJUSTED ON SITE AS REQUIRED BY THE CONTRACTOR.
- OBTAIN ALL REQUIRED PERMITS FROM MUNICIPAL AUTHORITIES - BY OTHERS.
- INSTALL AND MAINTAIN TEMPORARY WORKS AND PROTECTION AS REQUIRED FOR DURING OF WORK.
- REMOVE, PRESERVE AND SECURE EXISTING FEATURES THAT WILL BE AFFECTED BY THE WORK SUCH AS BUT NOT LIMITED TO LIGHT FIXTURES, ELECTRICAL AND PLUMBING APPURTENANCES, DECKS.
- REMOVE AND DISPOSE OF EXISTING WOOD SIDING INCLUDING AFFECTED TRIMS AND FLASHING.
- REMOVE AND DISPOSE OF BASEMENT CEILING ALONG FRONT OF BUILDING TO FACILITATE FRAMING REPAIRS. AREA OF CEILING TO BE REMOVED SHALL BE DETERMINED ON SITE BASED ON REVIEW BY CONSULTANT. CONTRACTOR TO ACCOUNT FOR A CEILING WIDTH OF 24 INCHES.
- NOTIFY CONSULTANT FOR FIELD REVIEW AND ASSESSMENT OF DAMAGED/ROTTEN FRAMING.
- REPAIR DAMAGED/ROTTEN FRAMING AS PER CONSULTANT'S SITE DIRECTIVES.
- INSTALL NEW EXTERIOR CLADDING INCLUDING FLASHING AS PER WALL COMPOSITION AND PLAN DETAILS. NEW EXTERIOR CLADDING TO BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S TECHNICAL DETAILS AND RECOMMENDATIONS.
- INSTALL NEW EAVES TROUGH AND DOWNSPOUT. COORDINATE COLOUR AND STYLE WITH OWNER.
- REINSTALL LIGHT FIXTURES, ELECTRICAL/PLUMBING APPURTENANCES AND DECKS AS PER EXISTING CONDITION.
- INSTALL NEW CEILING IN AFFECTED AREA COMPLETE WITH PRIMER AND PAINT TO MATCH EXISTING COLOUR
- CLEAN, PATCH AND MAKE GOOD ALL AFFECTED AREAS.
- ALL INSPECTION SHALL BE SCHEDULE WITH NO LESS THAN A 48H NOTICE.

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No.	Revision	Date
#5		
#4	ISSUED FOR TENDER	MAY 14, 2019
#3	ISSUED FOR PERMIT	MARCH 20, 2019
#2	ISSUED FOR CLIENT REVIEW	NOVEMBER 9, 2017
#1	ISSUED FOR CLIENT REVIEW	OCTOBER 31, 2017

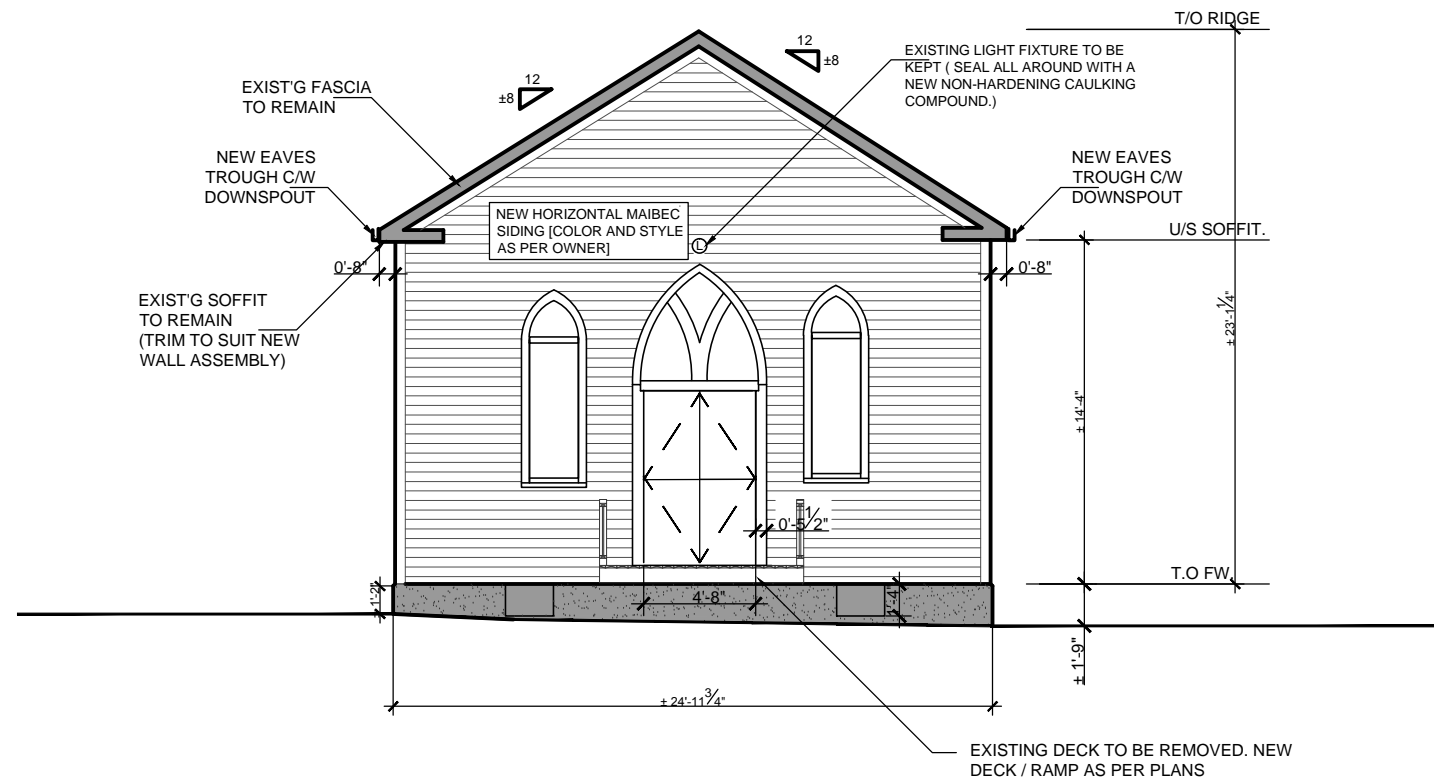
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 ENGINEERS / INGÉNIEURS

42-767, Notre Dame Street  
 Embrun, Ontario, K0A 1W1  
 (613) 693-0700

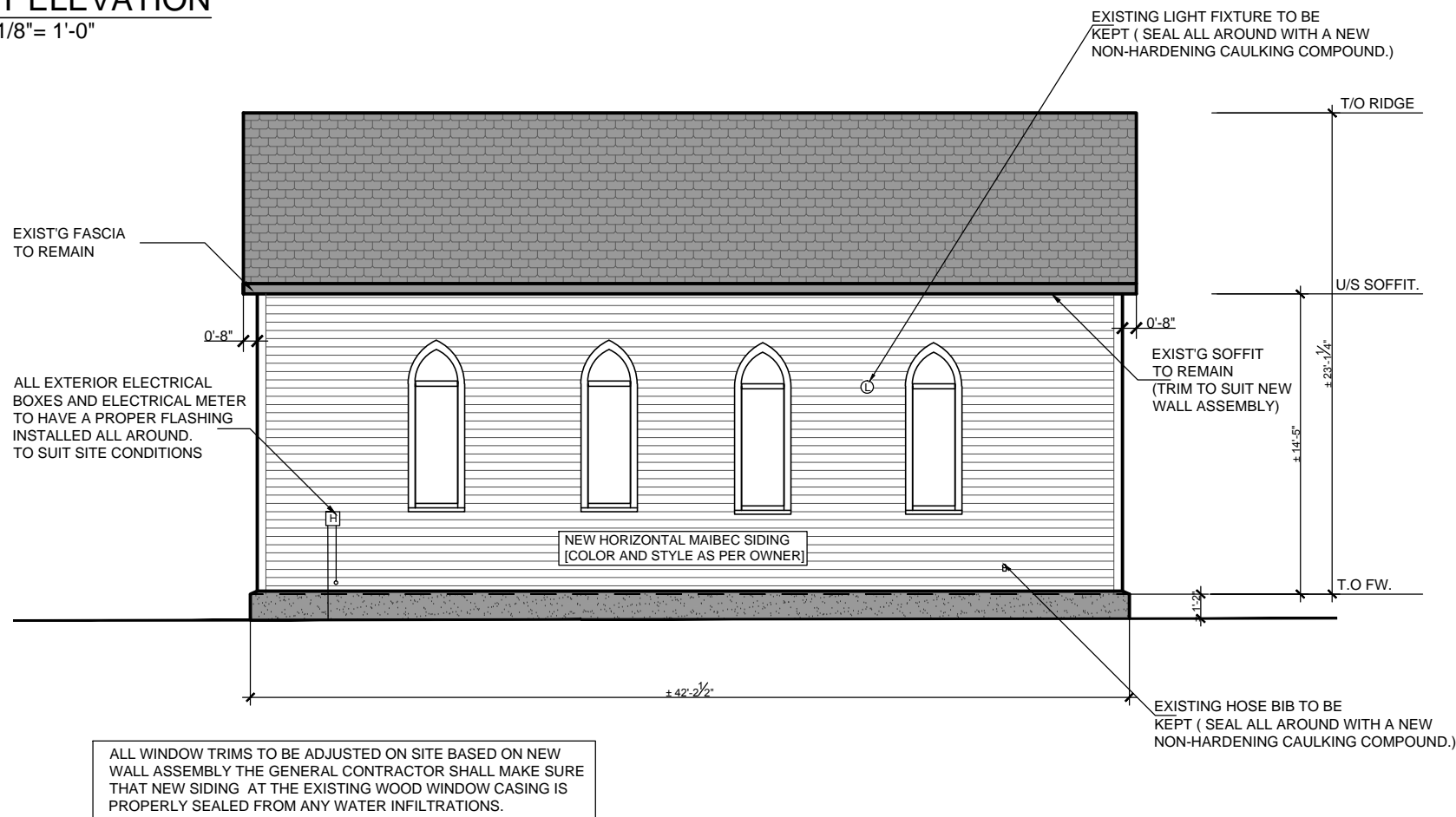
**RUSSELL TOWNSHIP**  
 François Landry - Project Manager  
 1150 Concession St., Russell, Ontario  
 Museum Ext. Cladding Upgrade

Drawn by: C.M.L.  
 Checked by: D.P.L.  
 Date: October 2017  
 Scale: as shown  
 File #: 017-189

Plan number:  
A1 of 5  
 PLAN AND NOTES



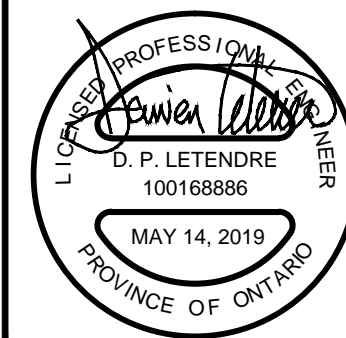
1 EAST ELEVATION  
A2 Scale 1/8" = 1'-0"



ALL WINDOW TRIMS TO BE ADJUSTED ON SITE BASED ON NEW WALL ASSEMBLY THE GENERAL CONTRACTOR SHALL MAKE SURE THAT NEW SIDING AT THE EXISTING WOOD WINDOW CASING IS PROPERLY SEALED FROM ANY WATER INFILTRATIONS.

2 NORTH ELEVATION  
A2 Scale 1/8" = 1'-0"

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ENGINEERS / INGÉNIEURS

**AD** 42-767, Notre Dame Street  
Embrun, Ontario, K0A 1W1  
(613) 693-0700

RUSSELL TOWNSHIP

François Landry - Project Manager  
1150 Concession St., Russell, Ontario  
Museum Ext. Cladding Upgrade

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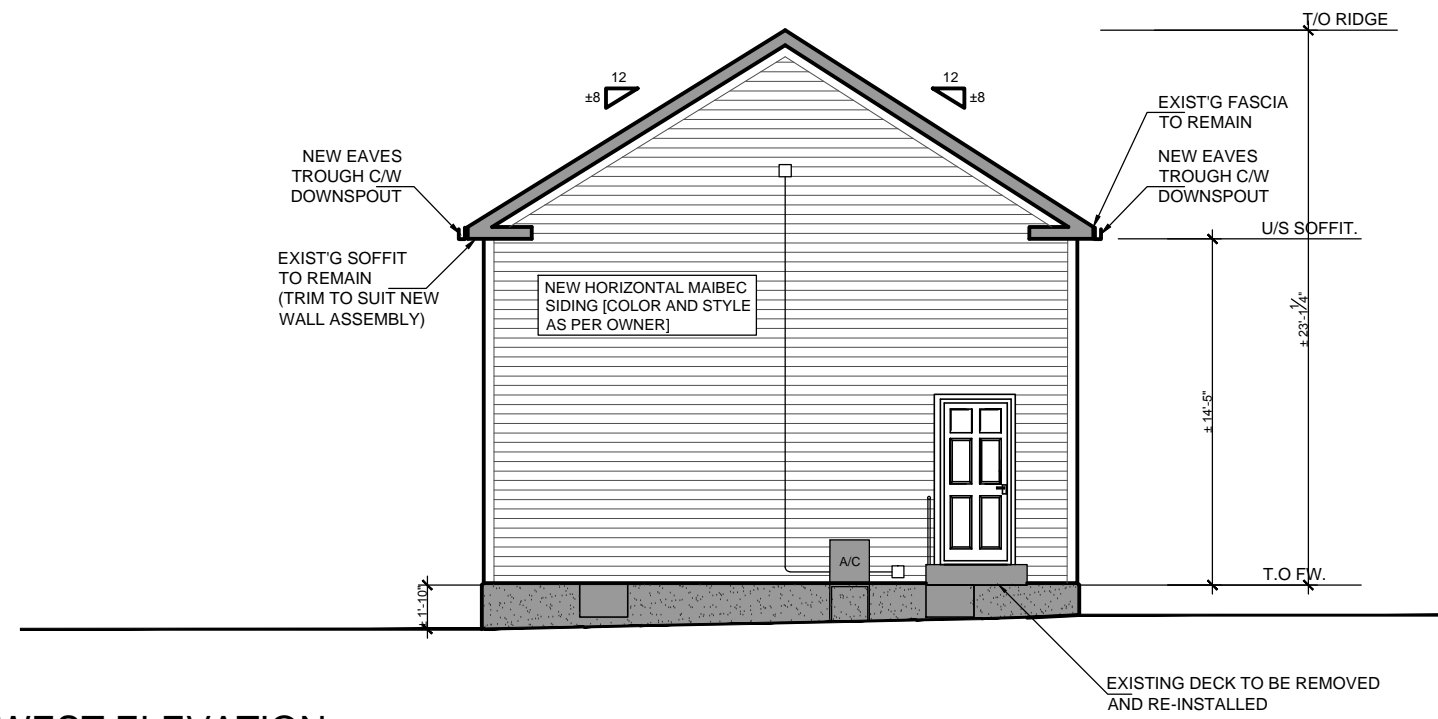
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FRONT AND RIGHT ELEVATIONS

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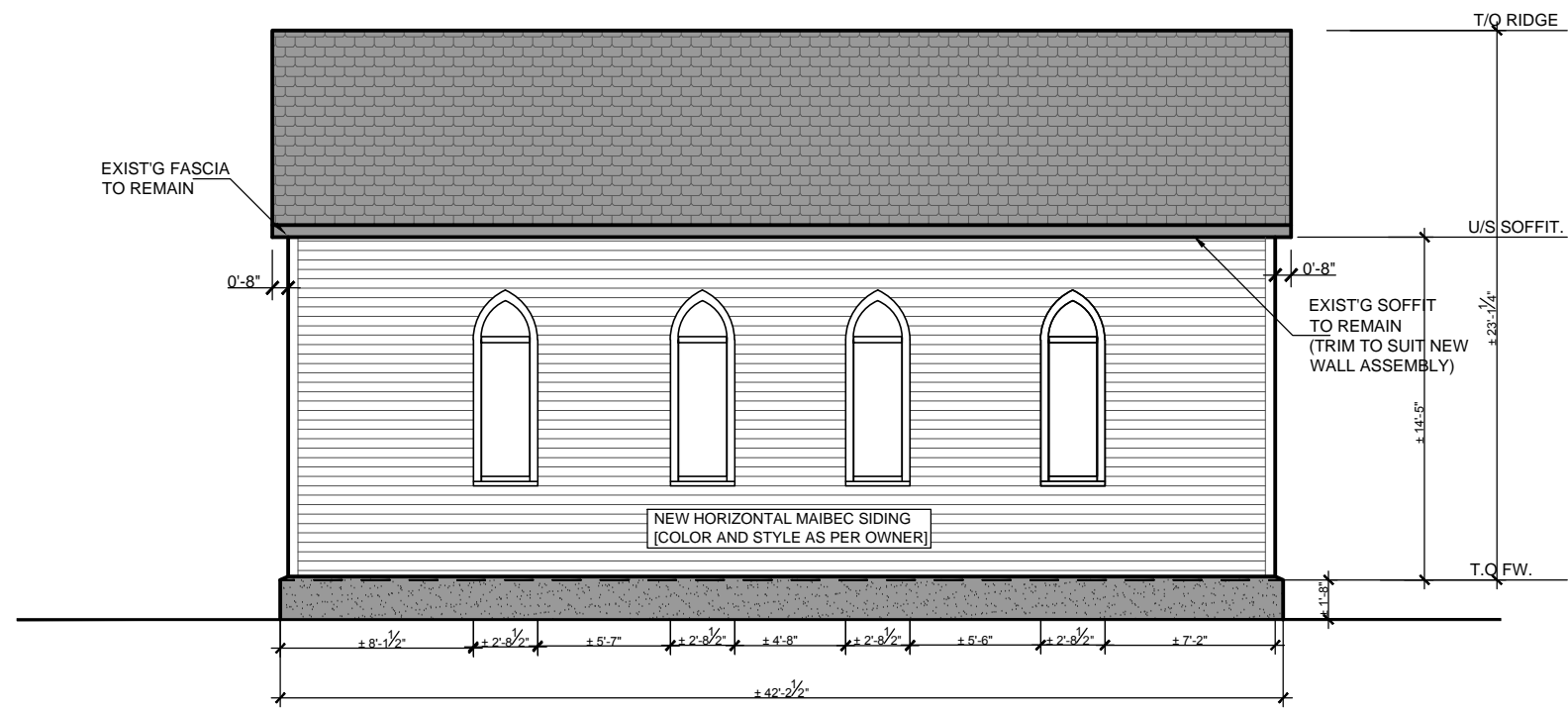


1 WEST ELEVATION  
 A3 Scale 1/8" = 1'-0"

EXISTING DECK TO BE REMOVED AND RE-INSTALLED



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2 SOUTH ELEVATION  
 A3 Scale 1/8" = 1'-0"

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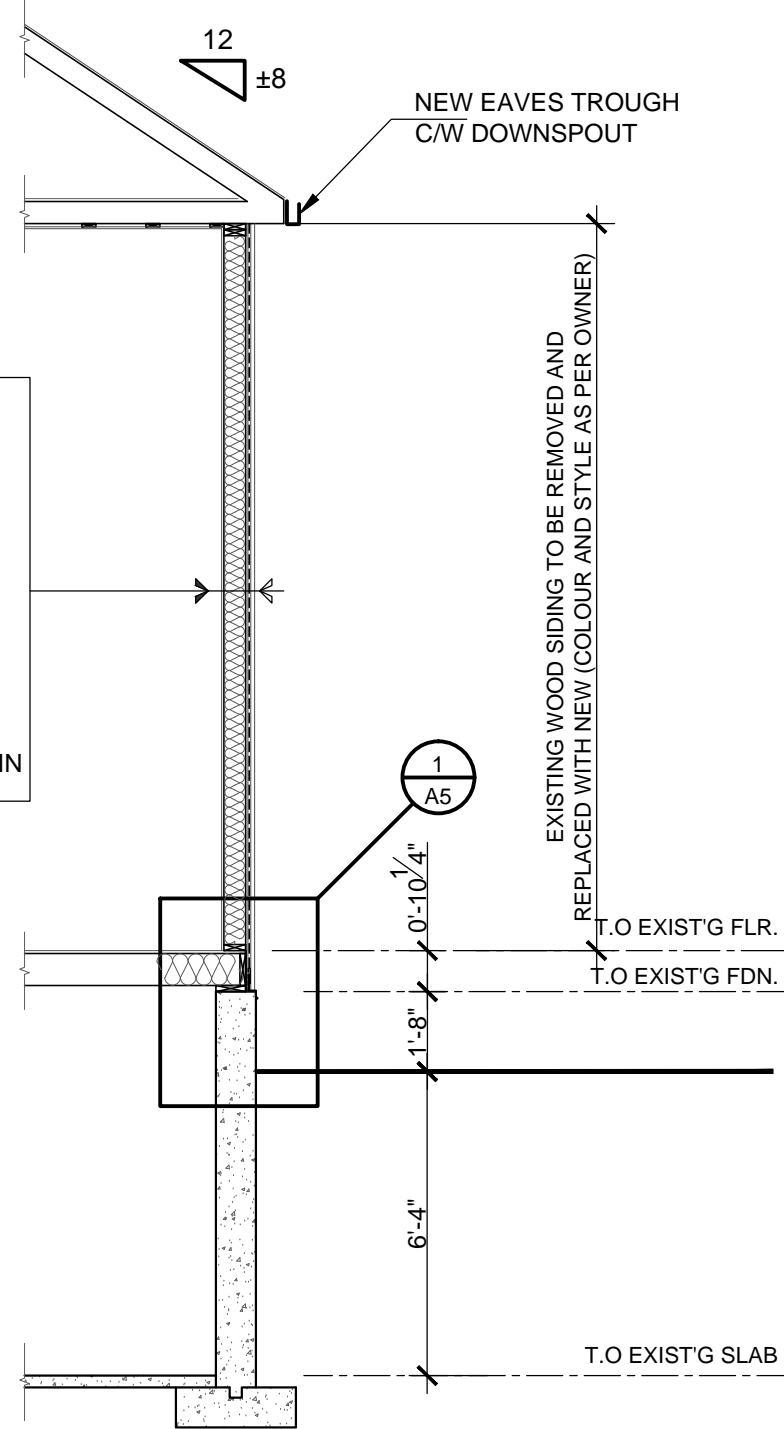
42-767, Notre Dame Street  
 Embun, Ontario, K0A 1W1  
 (613) 693-0700

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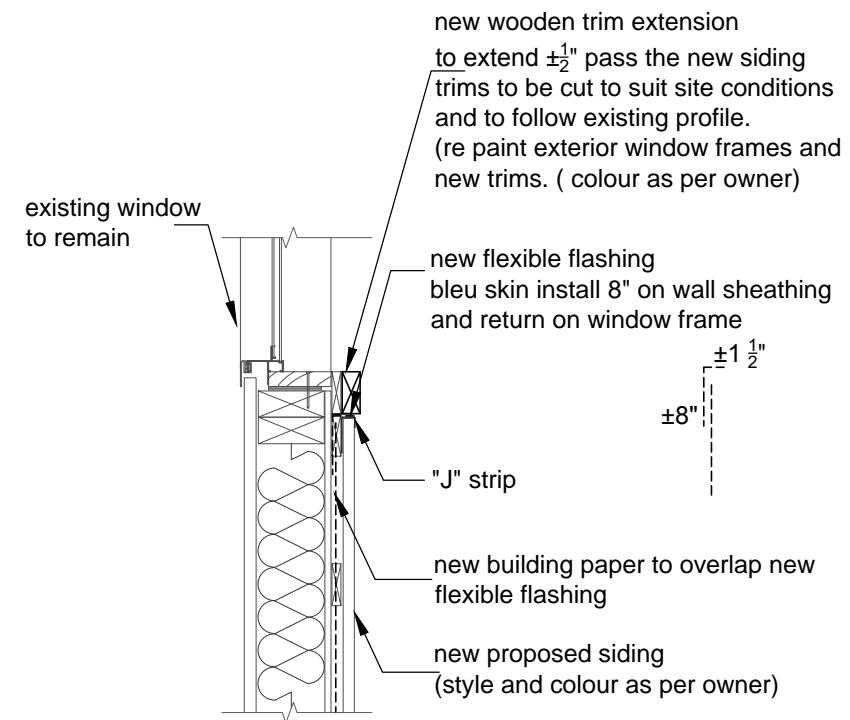
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**A3 of 5**  
 BACK AND LEFT ELEVATIONS

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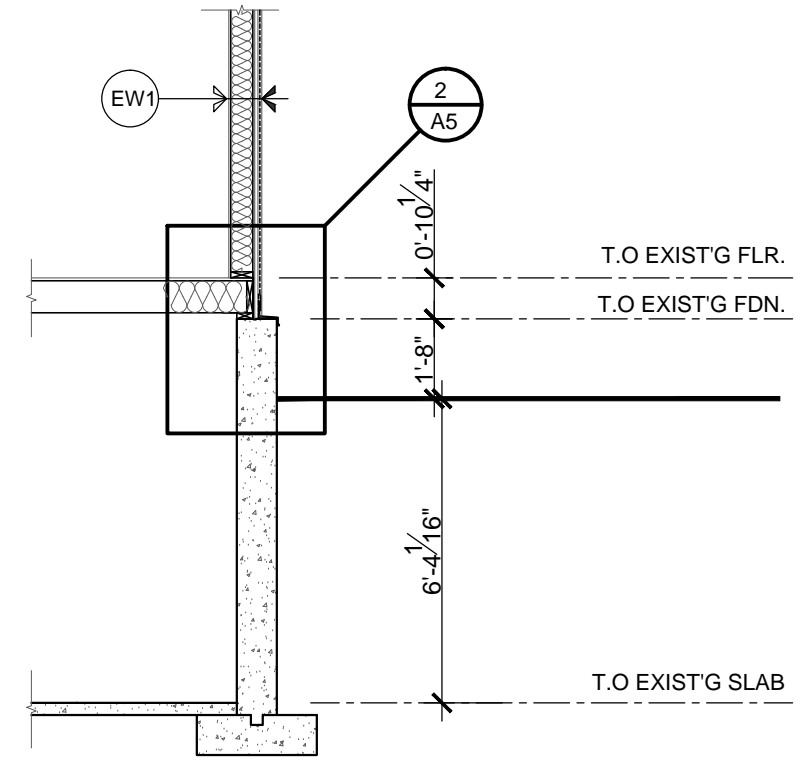


- EW-1: EXTERIOR WALL (TYP.)**
- NEW SIDING (style & colour as per owner)
  - NEW 1"x3" VERTICAL STRAPPING @ 16" O.C
  - NEW WEATHER/WATER RESISTIVE BARRIER (TYVEK)
  - EXISTING SHEATHING TO REMAIN
  - EXISTING FRAMING TO REMAIN
  - EXISTING INSULATION TO REMAIN
  - EXISTING VAPOR BARRIER
  - EXISTING INTERIOR FINISH TO REMAIN

**A-A TYP. WALL SECTION**  
 Scale 1/4" = 1'-0"



**C TYP. WINDOW DETAIL**  
 Scale 3/4" = 1'-0"



**B-B TYP. WALL SECTION**  
 Scale 1/4" = 1'-0"

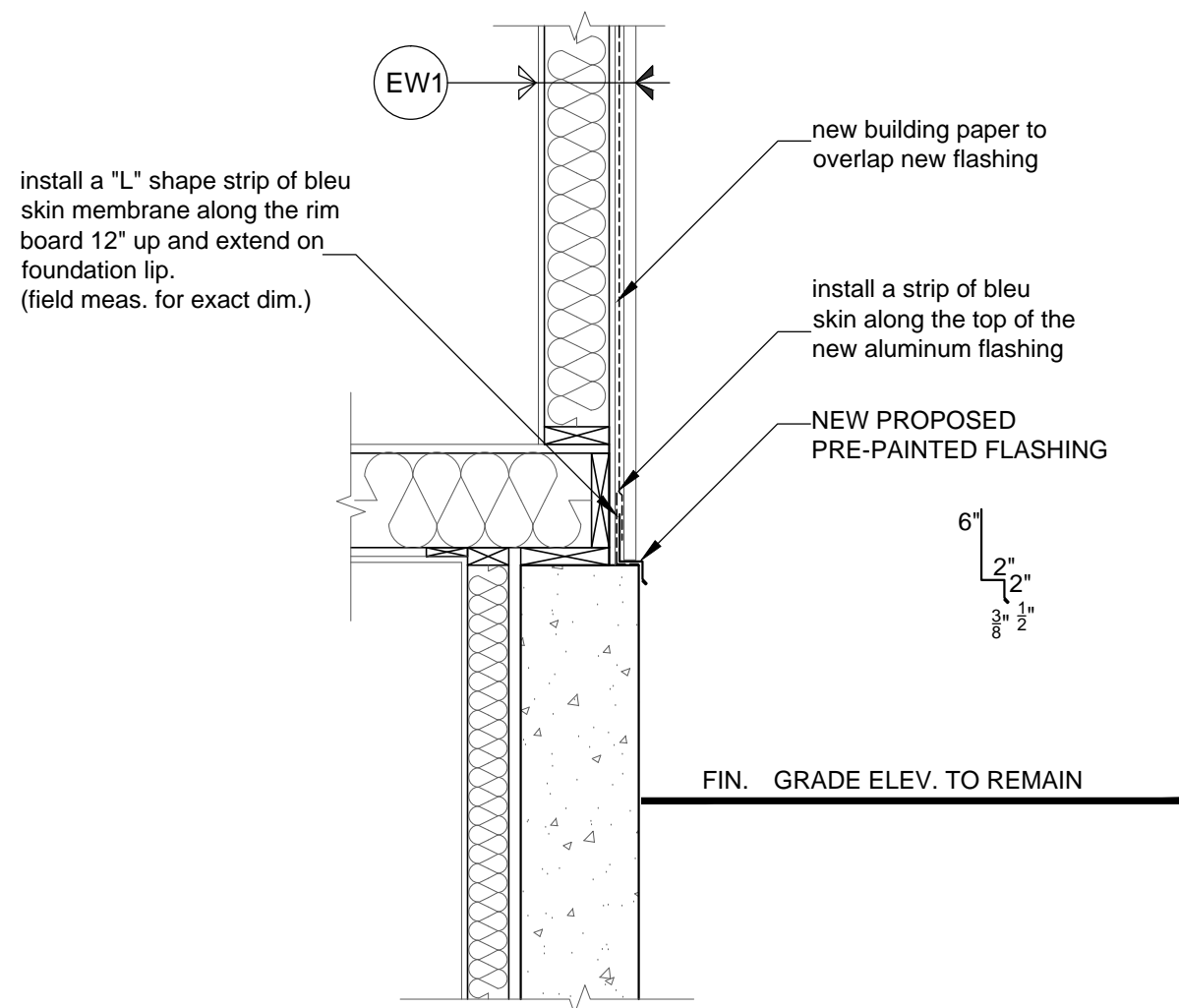


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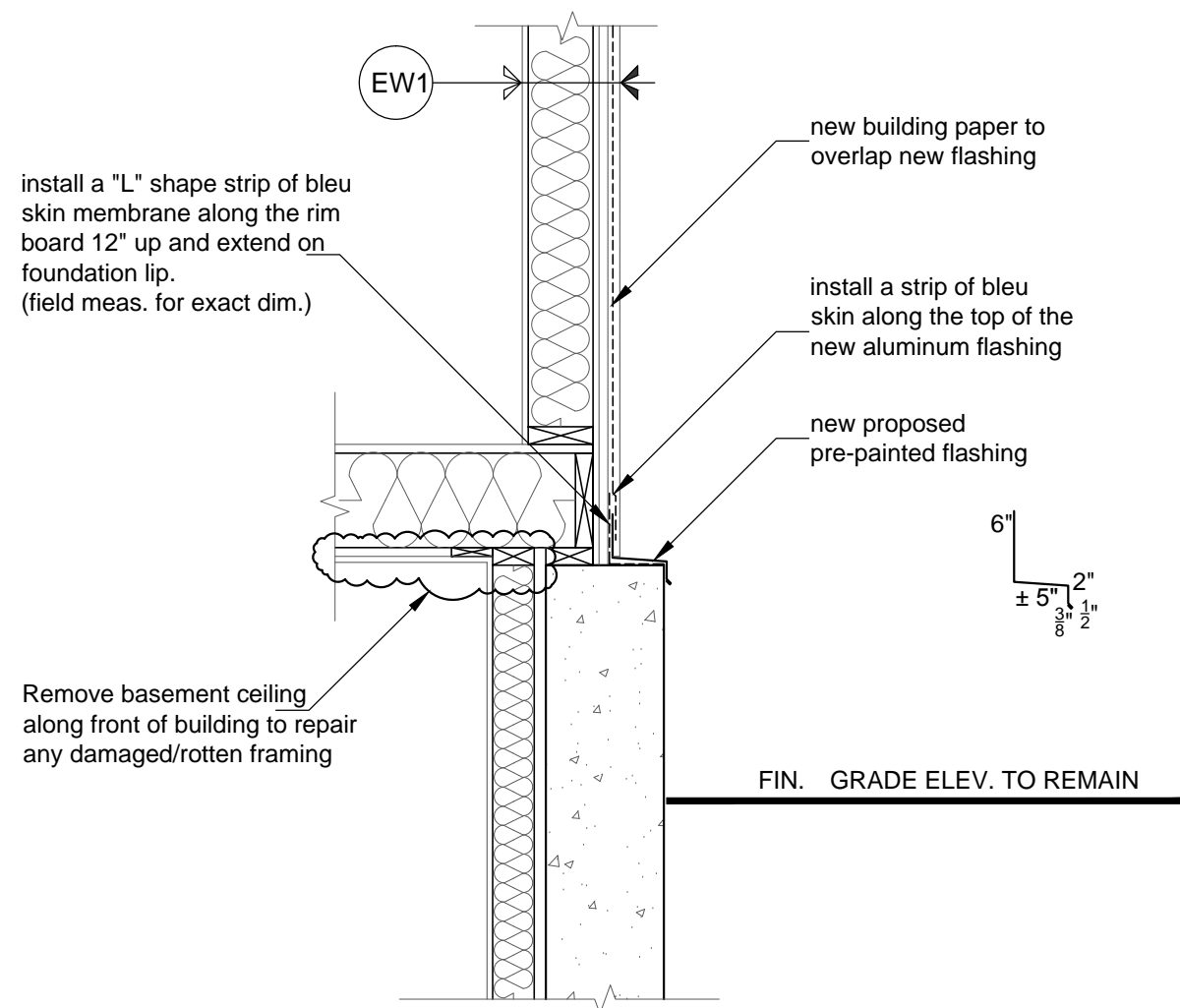
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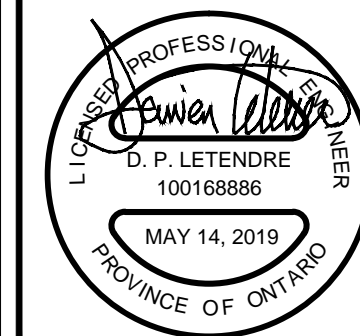
NOTE :  
 ALL ROTTEN RIM JOIST AND STUDS ARE TO BE REMOVED AND REPLACE WITH NEW ( AS PER SITE CONDITIONS AFTER EXISTING SIDING IS COMPLETELY REMOVED WALL WILL NEED PROPER ASSESSMENT.

1 FOUNDATION @ RIM BOARD DETAIL BUILDING SIDES AND REAR  
 A5 Scale 3/4" = 1'-0"



NOTE :  
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2 FOUNDATION @ RIM BOARD DETAIL BUILDING FRONT  
 A5 Scale 3/4" = 1'-0"



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**A5 of 5**  
 FLASHING DETAILS