



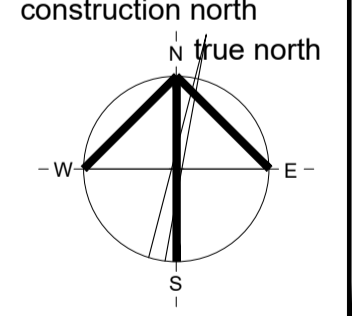
6		
5		
4	ISSUED FOR PERMIT	04 June 2021
3	ISSUED FOR TENDER	04 June 2021
2	ISSUED FOR SITE PLAN APPLICATION	28 April 2021
1	FOR CLIENT MEETING	Mar. 2021

no.	revision	date
6		
5		
4	ISSUED FOR PERMIT	04 June 2021
3	ISSUED FOR TENDER	04 June 2021
2	ISSUED FOR SITE PLAN APPLICATION	28 April 2021
1	FOR CLIENT MEETING	Mar. 2021

N45 ARCHITECTURE INC.
71 Bank Street, 7th Floor - Ottawa, Ontario, K1P 5N2
tel. 613.224.0095 fax 613.224.9811

project
**RUSSELL RECREATION
COMPLEX PARK PROJECT
PHASE 1**
TOWNSHIP OF RUSSELL, ONTARIO

construction north seal



drawing title
SITE PLAN

scale AS INDICATED drawn by J. J.

date Mar. 2021 checked by R.M.

project number 20-620 drawing number **A-001**

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.

revision

TOPOGRAPHICAL PLAN INFORMATION:
SKETCH SHOWING TOPOGRAPHICAL INFORMATION
PART OF LOT 10 CONCESSION 5
TOWNSHIP OF RUSSELL

Prepared by Annis, O'Sullivan, Vollebakk Ltd.
Field Work Completed on April 12th, 2021

SITE ZONING AS PER RUSSELL TOWNSHIP ZONING BY-LAW
SITE DESIGNATION
CP ZONE (COMMERCIAL PARK)

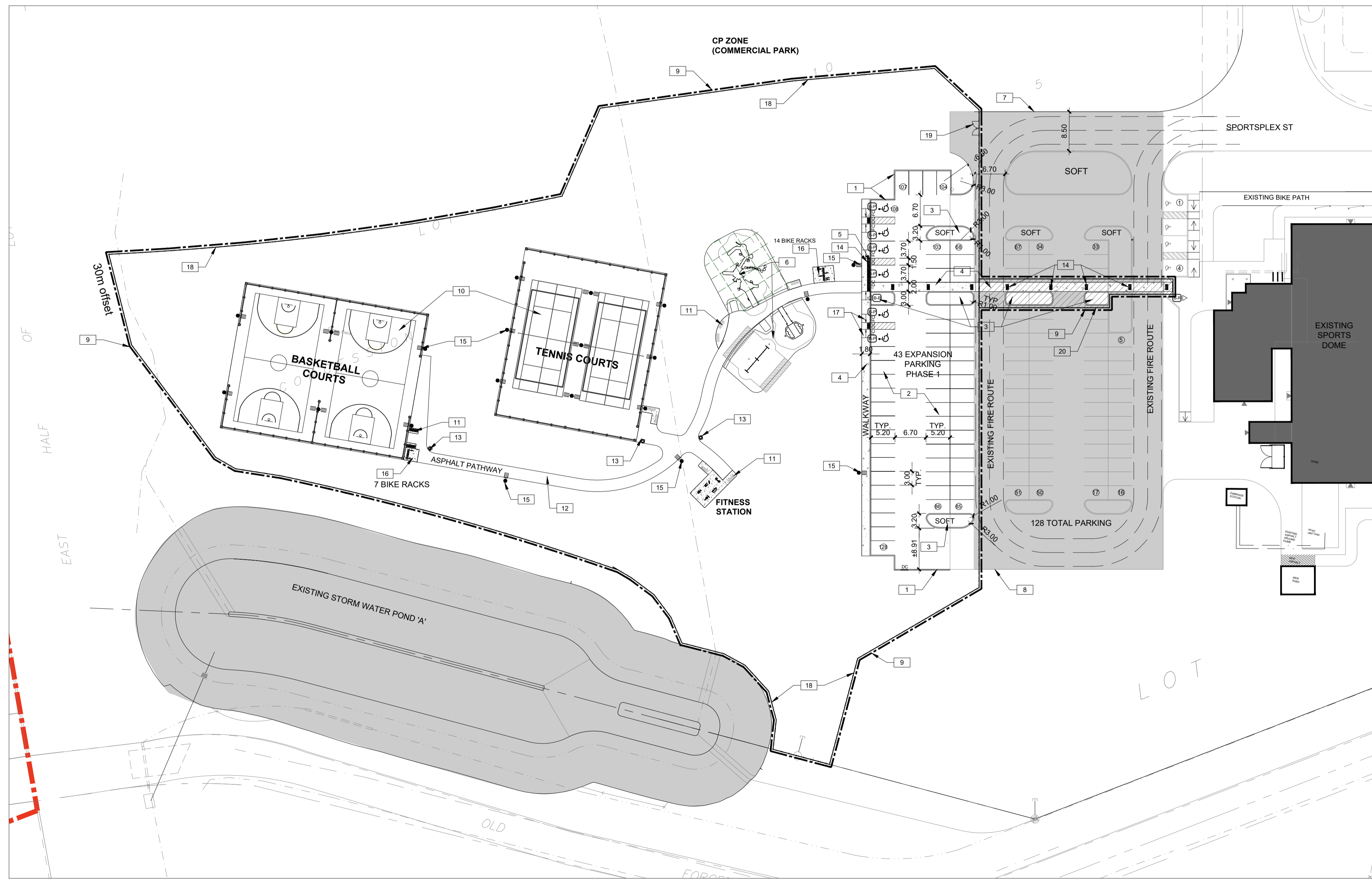
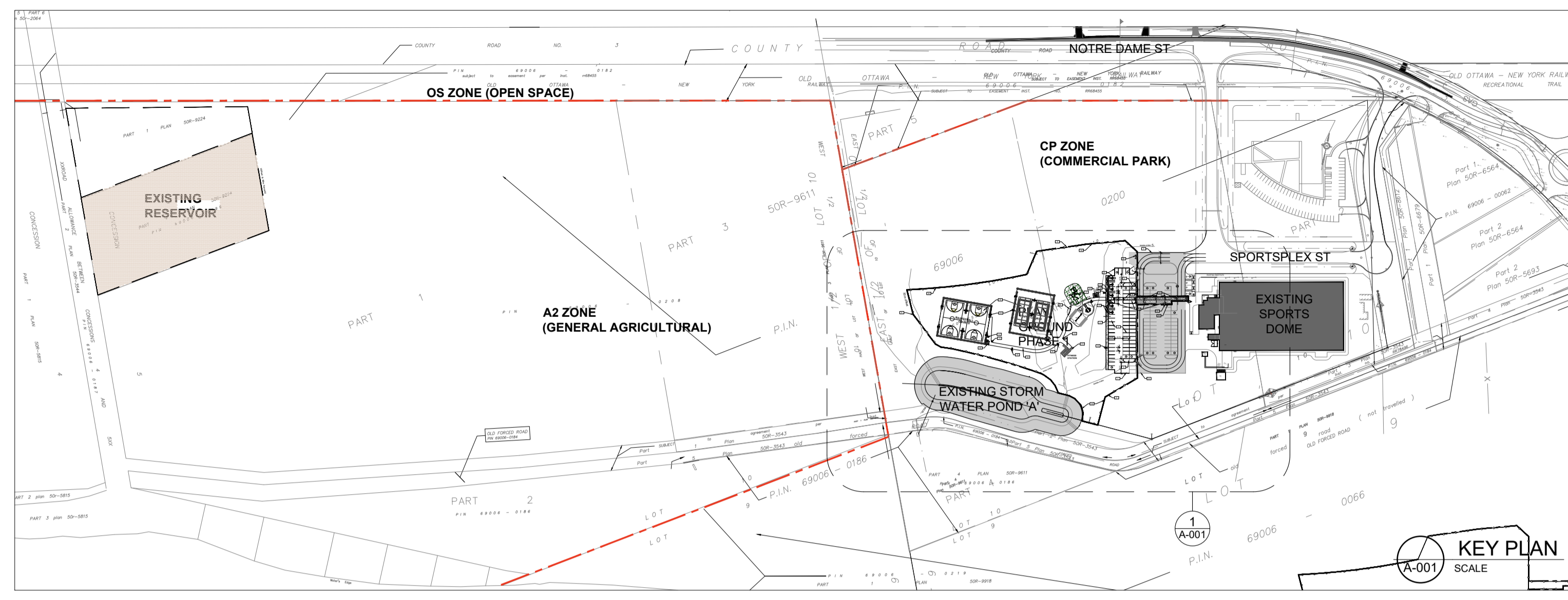
- LEGEND**
- ZONE BOUNDARY
 - LIMIT OF CONTRACT
 - EXISTING BUILDING
 - EXISTING PARKING LOT
 - DEPRESSED CURB REFER TO LANDSCAPE & CIVIL DWGS
 - FLARE CURB REFER TO LANDSCAPE & CIVIL DWGS
 - NEW CURB
 - CONCRETE WALKWAY
 - LINE PAINT AREA
 - BARRIER-FREE PARKING SIGN
 - BARRIER-FREE ROUTE SIGN & SIGN FACE DIRECTION
 - PICTURE OF BARRIER-FREE ROUTE SIGN THE SAME SIZE AS BF PARKING SIGN
 - TWSI - TACTILE WALKING SURFACE INDICATORS
 - GARBAGE CAN
 - EXTERIOR LIGHT POLE - REFER TO ELEC. DWGS

- CONSTRUCTION NOTES**
- 1 NEW CONCRETE CURB REFER TO LANDSCAPE & CIVIL DWGS
 - 2 NEW PARKING SPACES. TYPICAL SIZE: 3.0 x 5.2 m
 - 3 NEW LANDSCAPED ISLANDS REFER TO LANDSCAPE & CIVIL DWGS
 - 4 NEW CONCRETE WALKWAY REFER TO LANDSCAPE & CIVIL DWGS
 - 5 NEW DEPRESSED CURB REFER TO LANDSCAPE & CIVIL DWGS
 - 6 NEW PLAYGROUND REFER TO LANDSCAPE DWGS
 - 7 FUTURE CURB & SIDEWALK
 - 8 EXISTING CURB
 - 9 LIMIT OF CONTRACT
 - 10 TENNIS & BASKETBALL COURT. REFER TO LANDSCAPE & CIVIL DWGS
 - 11 NEW BENCH REFER TO LANDSCAPE DWGS
 - 12 NEW ASPHALT PATHWAY REFER TO LANDSCAPE & CIVIL DWGS
 - 13 GARBAGE CAN REFER TO LANDSCAPE DWGS
 - 14 TWSI - TACTILE WALKING SURFACE INDICATORS. REFER TO LANDSCAPE DWGS
 - 15 EXTERIOR LIGHT POLE - REFER TO ELEC. DWGS
 - 16 BIKE RACKS & CONCRETE PAD REFER TO LANDSCAPE DWGS
 - 17 SLOPED SIDEWALK REFER TO LANDSCAPE DWGS
 - 18 CONSTRUCTION HOARDING REFER TO CIVIL DRAWINGS
 - 19 CONSTRUCTION ACCESS (GATE) REFER TO CIVIL DRAWINGS
 - 20 TEMPORARY CONSTRUCTION HOARDING FOR WORK IN THIS AREA ONLY REFER TO CIVIL DRAWINGS

ZONING INFORMATION

ZONING MECHANISM	REQUIRED RUSSELL TOWNSHIP ZONING BY-LAW	PROVIDED
ZONING CODE	CP ZONE (COMMERCIAL PARK)	RECREATIONAL PARK
ADDRESS	SPORTSPLEX ST	
MINIMUM LOT AREA	900 m ²	
MINIMUM LOT FRONTAGE	30 m	EXISTING
MINIMUM FRONT YARD	6 m	EXISTING
MIN. EXTERIOR SIDE YARD	6 m	EXISTING
MIN. INTERIOR SIDE YARD	1.2 m	EXISTING
MINIMUM REAR YARD	7.5 m	EXISTING
MIN. LANDSCAPE OPEN SPACE	10 %	N/A
MAXIMUM BUILDING HEIGHT	20 m (5 STOREYS)	N/A
PARKING REQUIREMENTS	EXISTING	SPORTS DOME 97 EXISTING
	PROPOSED	0 1/4 FIXED SEATS 20 4 / SPORTS FIELD 0 1 / 70 G.F.A.
	TOTAL	128
BARRIER-FREE PARKING	EXISTING	4
	PROPOSED	6

BARRIER-FREE REQUIREMENTS: ALL REQUIREMENTS OF SECTION 3.41.4 OF THE ZONING BY-LAW TO BE ADHERED TO AND FORM PART OF THIS CONTRACT



1 SITE PLAN - PHASE 1
A-001 SCALE 1:500