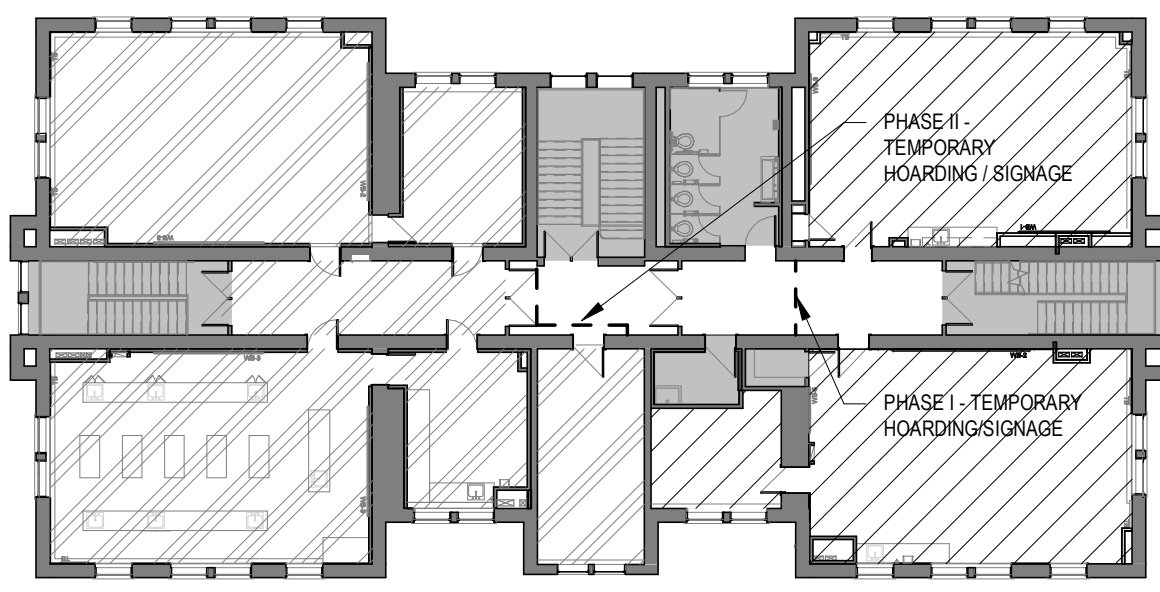
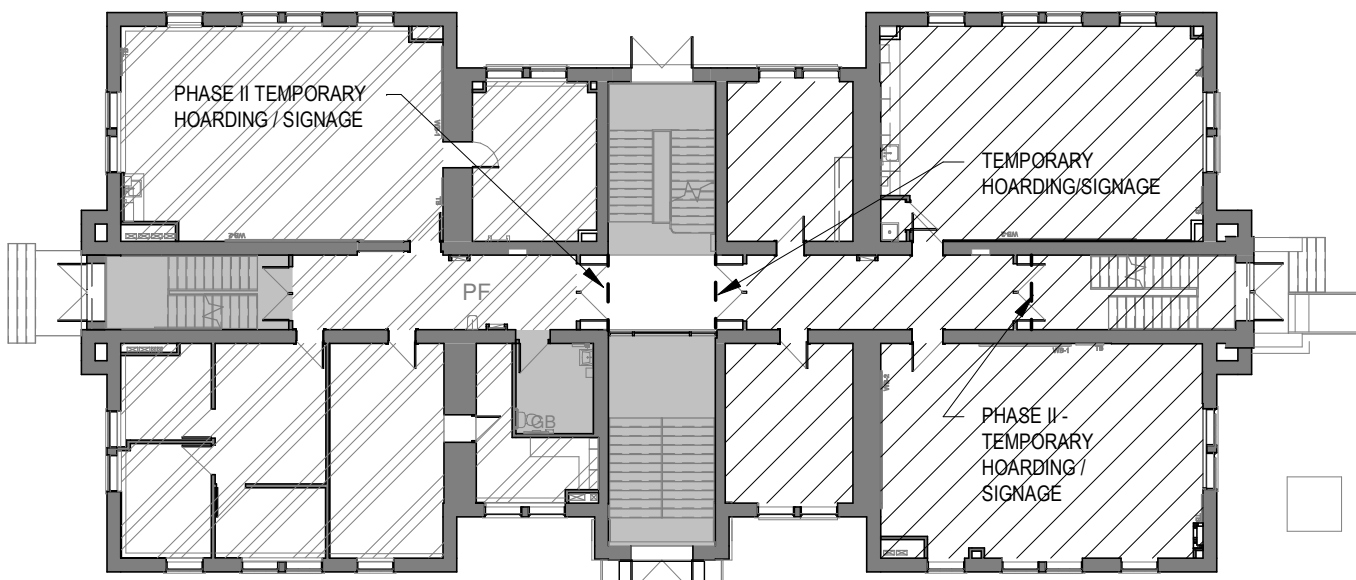


# ADMINISTRATION BUILDING - É.S.P RIVIÈRE RIDEAU AIR CONDITIONING UPGRADE

830 Heritage Drive, Kemptville ON



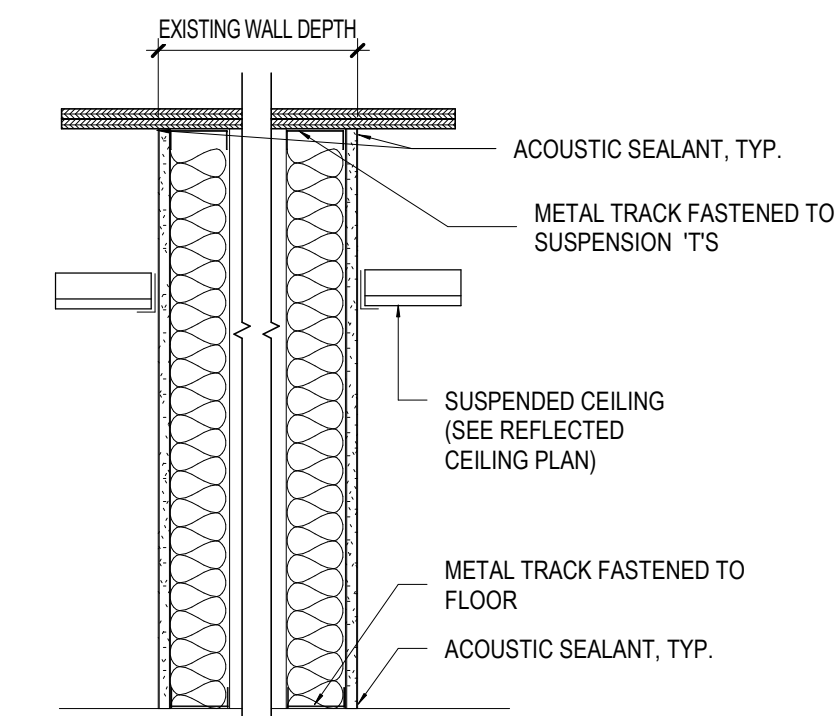
PHASING PLAN - SECOND FLOOR  
1 : 250



PHASING PLAN - FIRST FLOOR  
1 : 250

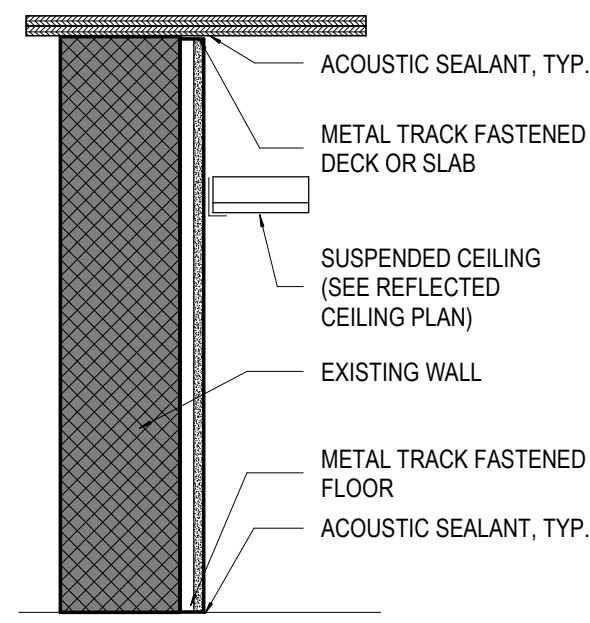


PHASING PLAN BASEMENT  
1 : 250



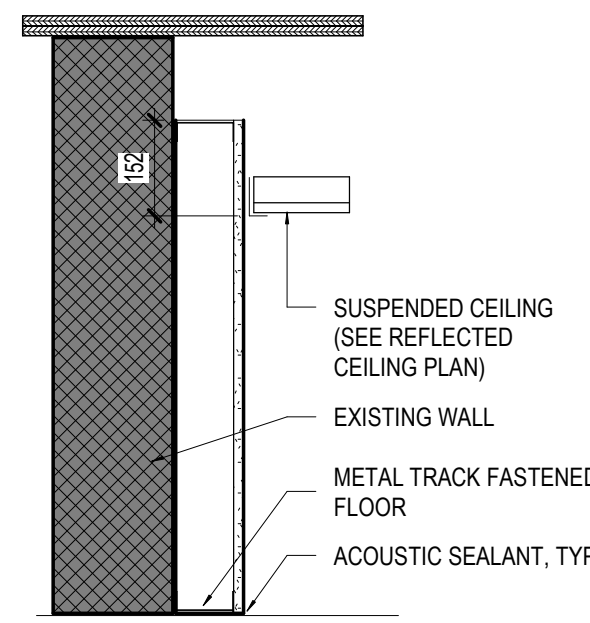
STANDARD INFILL PARTITION

- 07 16mm GYPSUM
- 92mm METAL STUDS @ 405 c.c.
- 92mm ACOUSTIC MINERAL WOOL INSULATION
- AIR SPACE
- 92mm ACOUSTIC MINERAL WOOL INSULATION
- 92mm METAL STUDS @ 405 c.c.
- 16mm GYPSUM



STANDARD FURRING PARTITION

- 02 16mm GYPSUM
- 22mm FURRING CHANNEL @ 405 c.c.
- 02a 16mm GYPSUM



STANDARD FURRING PARTITION

- 01 16mm GYPSUM
- 92mm METAL STUDS @ 405 c.c.
- 92mm ACOUSTIC MINERAL WOOL INSULATION
- 01a SAME AS TYPE 01, EXCEPT REPLACE "16mm GYPSUM" WITH "16mm WATER RESISTANT GYPSUM"
- 01b SAME AS TYPE 01, EXCEPT REPLACE "92mm METAL STUDS @ 405c.c." WITH "64mm METAL STUDS @ 405 c.c."
- 01c SAME AS TYPE 01, EXCEPT REPLACE "92mm METAL STUDS @ 405c.c." WITH "152mm METAL STUDS @ 405 c.c." & REPLACE "16mm GYPSUM" WITH "16mm WATER RESISTANT GYPSUM"

Partition Schedule  
1 : 12

## GENERAL NOTES - PARTITIONS

ALL WALLS TO BE CONSTRUCTED USING BEST PRACTICES AND BE COMPLIANT WITH REGIONAL BUILDING CODES.

**GAUGE OF STEEL STUDS:**  
UNLESS REQUIRED OTHERWISE, SHALL BE 25 GA. (0.46mm).  
ADJUST GAUGE AND SPACING OF STUDS AS REQUIRED TO CONFORM TO REQUIREMENTS OF ASTM C754 TAKING INTO ACCOUNT PARTITION HEIGHT AND MAXIMUM DEFLECTION REQUIREMENTS.  
A. STANDARD SYSTEMS: MAXIMUM DEFLECTION OF L/240 OF PARTITION HEIGHT.  
B. SYSTEMS TO RECEIVE WATER RESISTANT GYPSUM BOARD OR BACKER BOARD: MAXIMUM DEFLECTION OF L/360 OF PARTITION HEIGHT.

**FASTENERS:**  
FASTENER TYPES AND SPACING MUST CONFORM TO CSA A82.31-M, "GYPSUM BOARD APPLICATION".

**FIRE RESISTANT GYPSUM PANELS:**  
FOR FIRE-RATED PARTITIONS, REFER TO DETAIL FOR GYPSUM PANEL THICKNESS.  
ACCEPTED MATERIALS: "PROROC TYPE X" GYPSUM PANEL FROM CERTAINTED OR APPROVED EQUIVALENT.

**WATER RESISTANT GYPSUM PANELS:**  
ACCEPTED MATERIALS: "GYPSUM PANELS FROM CERTAINTED OR APPROVED EQUIVALENT. USE THICKNESS SPECIFIED IN DETAIL.

**SOUND RESISTANT PARTITIONS:**  
BED THE TOP AND SOLE STUD RUNNERS WITH ACOUSTIC SEALANT BEFORE INSTALLATION.

ASSEMBLIES WITH SOUND TRANSMISSION CLASS RATINGS OF 50 OR MORE REQUIRE ACOUSTICAL SEALANT APPLIED AROUND ELECTRICAL BOXES AND OTHER OPENINGS, AND, FOR DRYWALL PARTITIONS, AT THE JUNCTION OF INTERSECTING WALLS AND FLOORS.

**"IMPACT RESISTANT GYPSUM PANELS":**  
INSTALL UP TO 2440 mm HIGH FROM FLOOR. INSTALL ON 20 GAUGE METAL STUDS, 305 mm o/c

**CEMENT PANELS:**  
ACCEPTABLE MATERIALS: CERTAINTED FIBER CEMENT BACKERBOARD OR APPROVED EQUIVALENT. USE THICKNESS SPECIFIED IN DETAIL.

**ACOUSTICAL INSULATION:**  
THICKNESS ACCORDING TO DETAIL.  
ACCEPTED MATERIALS: "SAFENSOUND" FROM ROXUL OR APPROVED EQUIVALENT.

**CORNER GUARDS:**  
1. VINYL: 75 X 75 X 1220 mm WITH CONTINUOUS ALUMINUM RETAINER  
ACCEPTED PRODUCTS: G200-SERIES FROM KOROGARD OR APPROVED EQUIVALENT. (FINISH AND COLOR TO BE SPECIFIED BY ARCHITECT)  
2. STAINLESS STEEL: 75 X 75 X 1220 mm FROM KOROGARD OR APPROVED EQUIVALENT.

**INSTALLATION NOTES:**  
- GENERAL CONTRACTOR TO PROVIDE ALL FRAMING NECESSARY FOR ALL OPENINGS REQUIRED FOR ALL CONDUITS AND RETURN AIR VENTS, OVER AND UNDER SUSPENDED CEILINGS. INSULATE AND ACOUSTICALLY SEAL ALL OPENINGS TO MINIMIZE VIBRATIONS.

## GENERAL NOTES

- A. GENERAL CONTRACTOR MUST INFORM THE ARCHITECT OF ALL SPECIFIC CONDITIONS OF THE PROJECT THAT MAY AFFECT, HARM, OR STOP THE EXECUTION OR COMPLETION OF THE WORK DEMANDED BY THE CONTRACT.
- B. INCLUDE IN CONTRACT ALL WORK, SPECIFIED OR NOT ON THE PLANS AND SPECIFICATIONS, THAT IS GENERALLY INCLUDED IN STANDARD INDUSTRY PRACTICE AND IS REQUIRED FOR WORK CONNECTED TO THIS PROJECT.
- C. ALL WORK SHALL BE DONE ACCORDING TO GOOD PRACTICE AND CONSTRUCTION INDUSTRY STANDARDS. THE WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE OF THE WORK. SUBSTANTIAL COMPLETION SHALL BE DETERMINED ACCORDING TO THE ACCEPTANCE OF THE WORK BY THE ARCHITECT.
- D. EACH SUB-CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL NOTIFY THE ARCHITECT OR OWNER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, NOTES, & FIELD CONDITIONS BEFORE COMMENCING ANY WORK. THE DIMENSIONS ON THESE DOCUMENTS MUST BE READ AND NOT MEASURED OR SCALED.
- E. THE GENERAL CONTRACTOR SHALL SUPPLY ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE WORK SPECIFIED ON THE ARCHITECTURAL PLANS AND WORK STEMMING FROM DIRECTIVES OF THE CLIENT AND OWNER.
- F. THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO AVOID CAUSES OF INJURY TO PERSONS.
- G. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL ANGLES, STRUTS, BRACKETS, TOGGLES, EYE BOLTS, ETC. WHEREVER NECESSARY TO PROPERLY SUPPORT, BRACE, OR REINFORCE ALL FINISHES, FRAMES, EQUIPMENT, ETC.
- H. ALL NEW PIPING AND ELECTRICAL CONDUITS SHALL BE CONCEALED WITHIN NEW PARTITIONS, UNLESS OTHERWISE NOTED.
- I. THE CONTRACTOR SHALL INSTALL PAINTED STEEL LINTELS FOR ALL NEW OPENINGS IN MASONRY WALLS. THE CONTRACTOR SHALL PROTECT ALL PUBLIC AND PRIVATE PROPERTY SURROUNDING THE SITE FROM DAMAGE OR DEBRIS RESULTING FROM WORK. ALL SECURITY DEVICES SHALL BE OF SOLID CONSTRUCTION TO PROVIDE THE PROTECTION NECESSARY. THE WORK AND ADJACENT PROPERTIES INCLUDE, BUT ARE NOT LIMITED TO, THE STRUCTURE, THE FINISHING, ALL ACCESSORIES, SITE BETTERMENT, ALL EQUIPMENT AND HARDWARE.
- K. ERECT ALL SHORING, CROSS-BRACING, AND OTHER SUPPORTS REQUIRED TO PREVENT SUBSIDENCE, MISALIGNMENTS AND MOVEMENT OF THE WORK.
- L. SHOULD THE QUALITY OF THE MATERIALS OR THE WORK SPECIFIED IN THE DRAWINGS NOT CORRESPOND TO THAT WHICH IS DESCRIBED IN THE SPECIFICATIONS, THE BETTER OF THE MATERIALS SHALL BE SUPPLIED.
- M. NO SUBSTITUTIONS WILL BE ALLOWED UNLESS SUBMITTED IN WRITING TO THE ARCHITECT OR OWNER FOR APPROVAL BEFORE EXECUTING THE WORK.
- N. ONCE THE WORK HAS BEEN COMPLETED, THE GENERAL CONTRACTOR SHALL ENSURE THAT THE SITE IS LEFT CLEAN.
- O. GENERAL CONTRACTOR IS RESPONSIBLE FOR REGULAR DISPOSAL OF ALL WASTE AND DEBRIS, WHETHER RESULTING FROM THEIR WORK OR A SUB-TRADE.
- P. ALL ELECTRICAL, OUTLETS, PLUMBING AND HVAC PIPING, DUCTWORK, REGISTERS AND GRILLES SHOWN ON THE ARCHITECTURAL DRAWINGS ARE INDICATED TO SET THE GENERAL LOCATIONS FOR SUCH COMPONENTS ONLY. COORD. W/ MECH AND ELEC.
- Q. THE CONTRACTOR SHALL FURNISH AND INSTALL ENCLOSURES NECESSARY TO FUR IN PIPES AND CHASES OR TO CONTINUE THE NORMAL LINE OF WALLS AND PARTITIONS.
- R. CONTRACTOR SHALL PATCH ALL CUTTING BY MECHANICAL AND ELECTRICAL TRADES AND ALL ADDITIONAL CUTTING BY OTHERS. MATCH ADJACENT MATERIALS AND FINISHES.
- S. SPECIFIC MATERIALS, PRODUCTS AND SYSTEMS ARE SPECIFIED IN THE CONTRACT DOCUMENTS TO PROVIDE A STANDARD OF ACCEPTANCE. EQUIVALENT MATERIALS, PRODUCTS OR SYSTEMS BY OTHER MANUFACTURERS ARE ACCEPTABLE AS SUBSTITUTIONS, PROVIDED THAT THE PROPERTIES AND COMPLIANCES OF THE SUBSTITUTIONS MEET OR EXCEED THE PROPERTIES AND COMPLIANCES OF THE SPECIFIED MATERIALS, PRODUCTS AND SYSTEMS IN ALL RESPECTS AND THAT ITEMS EXPOSED TO SIGHT ARE OF THE SAME APPEARANCE AS THE SPECIFIED ITEMS.
- T. CONTRACTORS WISHING TO SUBMIT ALTERNATIVES FOR MATERIAL, PRODUCT OR EQUIPMENT SPECIFIED MUST DO SO, WITHOUT EXCEPTION, DURING THE TENDER PERIOD. UNDER NO CIRCUMSTANCES WILL ALTERNATIVES SUBMITTED AFTER THE CLOSING OF THE TENDERS BE CONSIDERED.
- U. EXISTING FURNITURE TO REMAIN IN PLACE DURING CONSTRUCTION. CONTRACTOR TO COORDINATE RELOCATION WITH OWNER AS REQUIRED.

## ABBREVIATIONS

- A.F.F. ABOVE FINISHED FLOOR
- ALU ALUMINUM COLUMN
- C.J. CONTROL JOINT
- C/W COMPLETE WITH DIMENSION
- DN DOWN
- ELEC. ELECTRIC
- EL. ELEVATION
- EQUIP. EQUIPMENT
- E.J. EXPANSION JOINT
- EXT. EXTERIOR
- EXIST. EXISTING
- FE FIRE EXTINGUISHER
- FHC FIRE HOSE CABINET
- FD FLOOR DRAIN
- GALV. GALVANIZED
- GB GRAB BAR
- ga. GAUGE
- GC GENERAL CONTRACTOR
- HORIZ. HORIZONTAL
- INT. INTERIOR
- M.O. MASONRY OPENING
- MECH. MECHANICAL
- N.I.C. NOT IN CONTRACT
- N.T.S. NOT TO SCALE
- ON CENTER
- RD ROOF DRAIN
- R.O. ROUGH OPENING
- SIM. SIMILAR
- STRUCT. STRUCTURAL
- TYP. TYPICAL
- U/S UNDERSIDE
- VERT. VERTICAL
- W.C. WATER CLOSETS
- TMP TEMPERED

## SYMBOLS AND REFERENCES

- GRID NUMBER
- △ ELEVATION
- DETAIL NUMBER
- REFERENCE PLAN
- SECTION
- SECTION NUMBER
- REFERENCE PLAN
- ◇ TYPE OF MATERIAL OR ACCESSORY
- PARTITION TYPE
- PARTITION NUMBER
- FIRE RATING
- CENTRE LINE
- ELEVATION HEIGHT
- CEILING TYPE
- CEILING HEIGHT
- EXISTING FLOOR LEVEL
- NEW FLOOR LEVEL
- ROOM NUMBER
- ROOM NAME
- REVISION NUMBER
- DOOR NUMBER
- GLAZING NUMBER

## MATERIAL LEGEND

- BRICK
- CONCRETE
- CONCRETE BLOCK
- WOOD
- CONTINUOUS BLOCKING
- NON CONTINUOUS BLOCKING
- METAL - STEEL
- RIGID INSULATION
- BATT INSULATION
- GYPSUM
- PLYWOOD

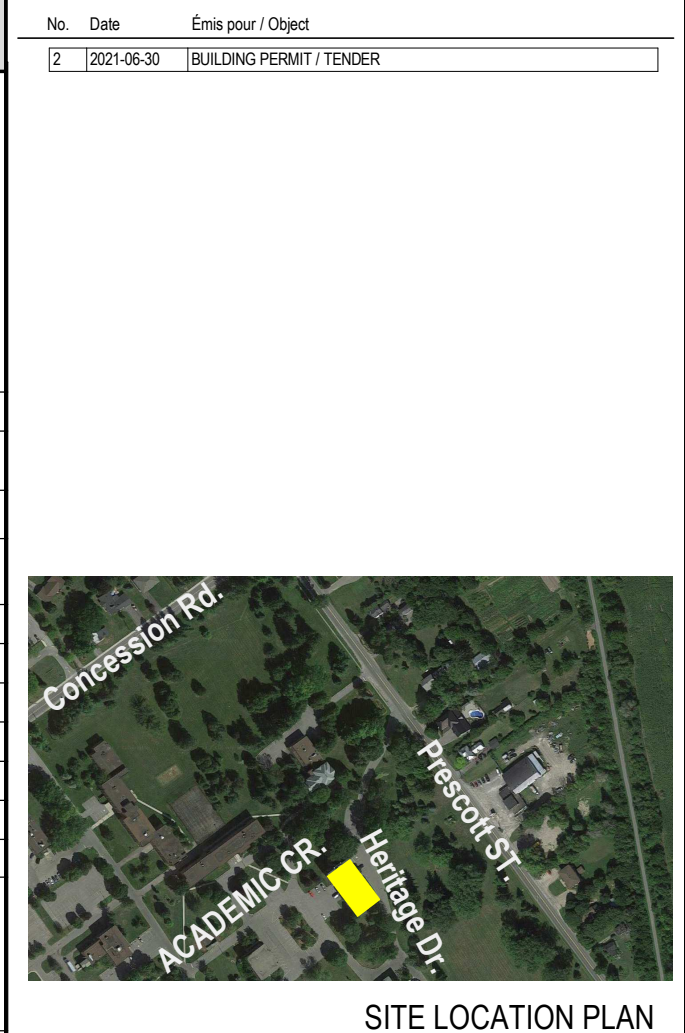
## DRAWING LIST

A-000	TITLE PAGE
A-001	LIFE SAFETY PLANS
A-110	BASEMENT FLOOR - DEMOLITION
A-111	FIRST FLOOR - DEMOLITION
A-112	SECOND FLOOR - DEMOLITION
A-120	BASEMENT PLAN
A-121	FIRST FLOOR PLAN
A-122	SECOND FLOOR PLAN
A-123	ATTIC PLAN
A-150	BASEMENT AND FIRST FLOOR CEILING PLAN
A-151	SECOND FLOOR CEILING PLAN

## OBC MATRIX

Name of Practice:		Figuri Architects Collective 190 Somerset St. West, Suite 206 Ottawa, Ontario K2P 0J4 613.695.6122		
Name of Project:		CEPEO - Administration Building Secondary School Air Conditioning Upgrade 830 Heritage Drive, Kemptville, ON		
Location:		830 Heritage Drive, Kemptville, ON		
Item:	OBC Building Code	Building Code Reference		
	Data Matrix Parts 3 or 9	References are to Division B unless noted [A] for Division A or [C] for Division C.		
1	Project Description: <input type="checkbox"/> New <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Part 11 11.1 to 11.4	<input type="checkbox"/> Part 3 1.1.2 [A] 9.10.1.3	
2	Major Occupancy(s)	GROUP A DIVISION 2, w/ Group D Offices	3.1.2.1.(1) 9.10.2	
3	Building Area (m²)	Existing 648 New --- Total 648	1.4.1.2 [A] 1.4.1.2 [A]	
4	Gross Area	Existing 1,296 New --- Total 1,296	1.4.1.2 [A] 1.4.1.2 [A]	
5	Number of Storeys	Above grade 2 Below grade 1	1.4.1.2 [A] & 3.2.1.1 1.4.1.2 [A] & 9.10.4	
6	Height of Building (m)	LESS THAN 14m		
7	Number of Streets/Fire Fighter Access	2 EXISTING STREETS	3.2.2.10 & 3.2.5.5	
8	Building Classification	3.2.2.25	9.10.2	
9	Sprinkler System Proposed	<input type="checkbox"/> entire building <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement only <input checked="" type="checkbox"/> not required	<input type="checkbox"/> selected compartments <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> N/A 9.10.8.2	
10	Standpipe required	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	3.2.9 N/A	
11	Fire Alarm required	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.4. 9.10.18	
12	Water Service/Supply is Adequate	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	3.2.5.7. N/A	
13	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6 N/A	
14	Permitted Construction	<input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Both permitted	3.2.2.10 - .83 9.10.6	
EXISTING ASSEMBLY BUILDING - COMBUSTIBLE CONSTRUCTION				
15	Mezzanine(s) Area m²	---	3.2.1.1.(3)-(8) 9.10.4.1.	
16	Occupant load based on	<input type="checkbox"/> m²/person <input checked="" type="checkbox"/> design of building	3.1.17. 9.9.1.3.	
EXISTING OCCUPANT LOAD: 325 PROPOSED OCCUPANT LOAD: 229 Total [School] Students (214) Staff (15)				
17	Barrier-free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)	3.8. 9.5.2	
18	Hazardous Substances	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.3.1.2 & 3.3.1.19 9.10.1.3.(4)	
19	Required Fire Resistance Rating (FRR)	Horizontal Assemblies (FRR Hours)	Listed Design No. or Description (SG-2)	3.2.2.20 - .83 & 3.2.1.4 9.10.8. 9.10.9.
		Floors 45 min	---	
		Roof 45 min	---	
		Mezzanine	N/A	
		FRR of Supporting Members	Listed Design No. or Description (SG-2)	
20	Spatial Separation - Construction of Exterior Walls		3.2.3 9.10.14.	
21	Plumbing Fixture Requirements	Male/Female Count @ 50%/50%	Fixtures Required	Fixtures Provided
		Men 115	3.7.4.3.(14) 1 / 30 M = 4	4 + 1 universal
		Women 115	3.7.4.3.(14) 1 / 26 M = 5	4 + 1 universal
		Hazardous Classrooms: Chem/Bio/Phys RM 202, Environment RM 209		
		Hazardous Classrooms: Chem/Bio/Phys RM 202, Environment RM 209		

Item:	OBC Building Code	Building Code Reference	
	Data Matrix - Part 11 - Renovation of Existing Building		
11.1	Existing Building Classification: Describe Existing Use: GROUP A DIVISION 2 - ASSEMBLY - SCHOOL Construction Index: Hazard Index: <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy)	11.2.1 T 11.2.1.1A T 11.2.1.1B TO N	
11.2	Alteration to Existing Building is: Basic Renovation <input type="checkbox"/> Extensive Renovation <input checked="" type="checkbox"/>	11.3.3.1 11.3.3.2	
11.3	Reduction in Performance Level: Structural: By Increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: Sewage-system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5	
11.4	Compensating Construction: Structural: By Increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Plumbing: Sewage-system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain)	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6	
11.5	Compliance Alternatives Proposed: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (give number(s))	11.5.1	



SITE LOCATION PLAN

Architect: Paysage & Landscape Architect  
Engineer / Engineer (Civil / Civil)

Engineer / Engineer (Mechanical & Electrical / Mechanical & Electrical)

Engineer / Engineer (Structure / Structure)

Client / Client

Architect / Architect

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Ontario Association of Architects

ADMINISTRATION BUILDING - É.S.P RIVIÈRE RIDEAU AIR CONDITIONING UPGRADE

830 Heritage Drive, Kemptville ON

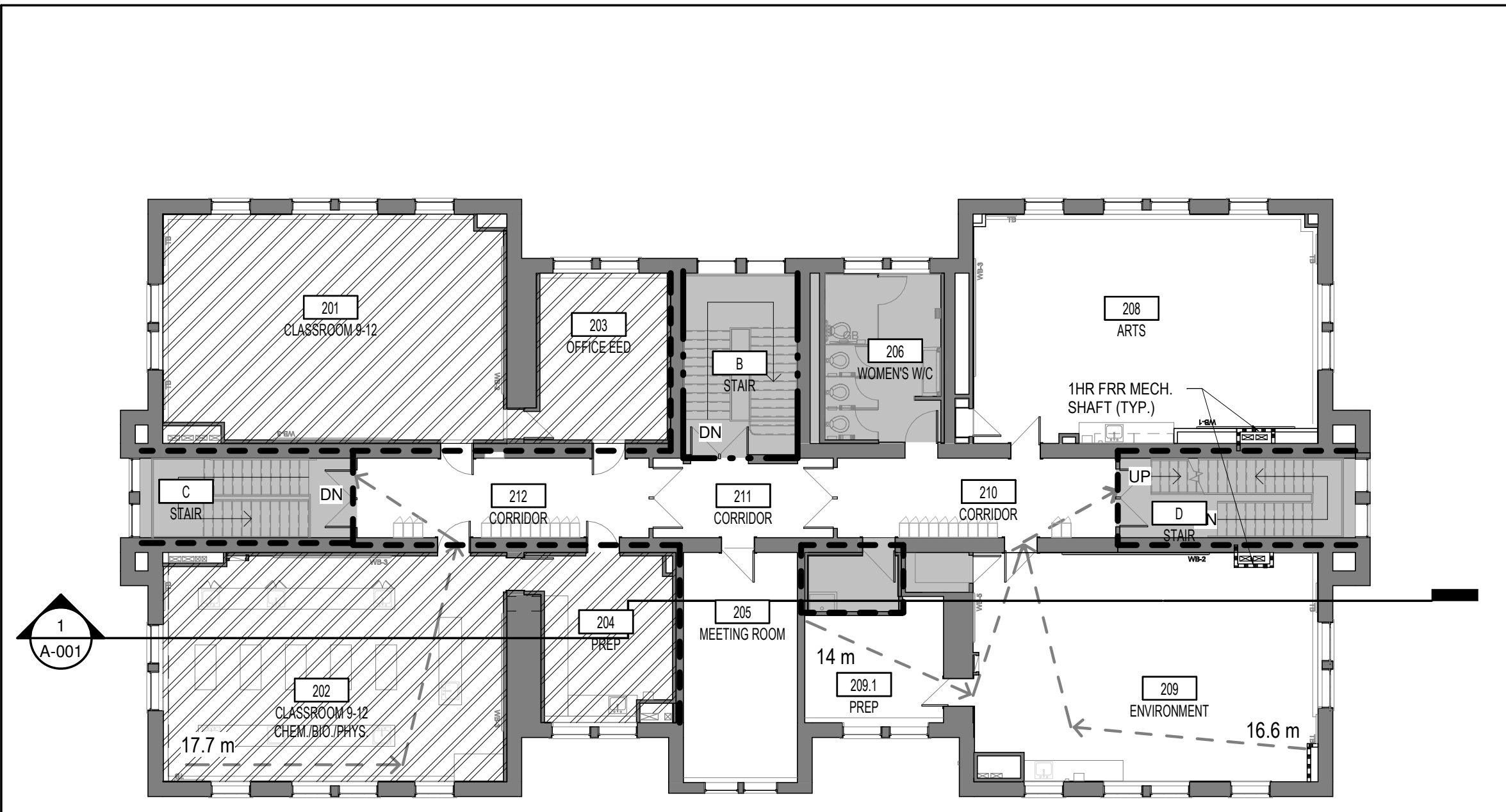
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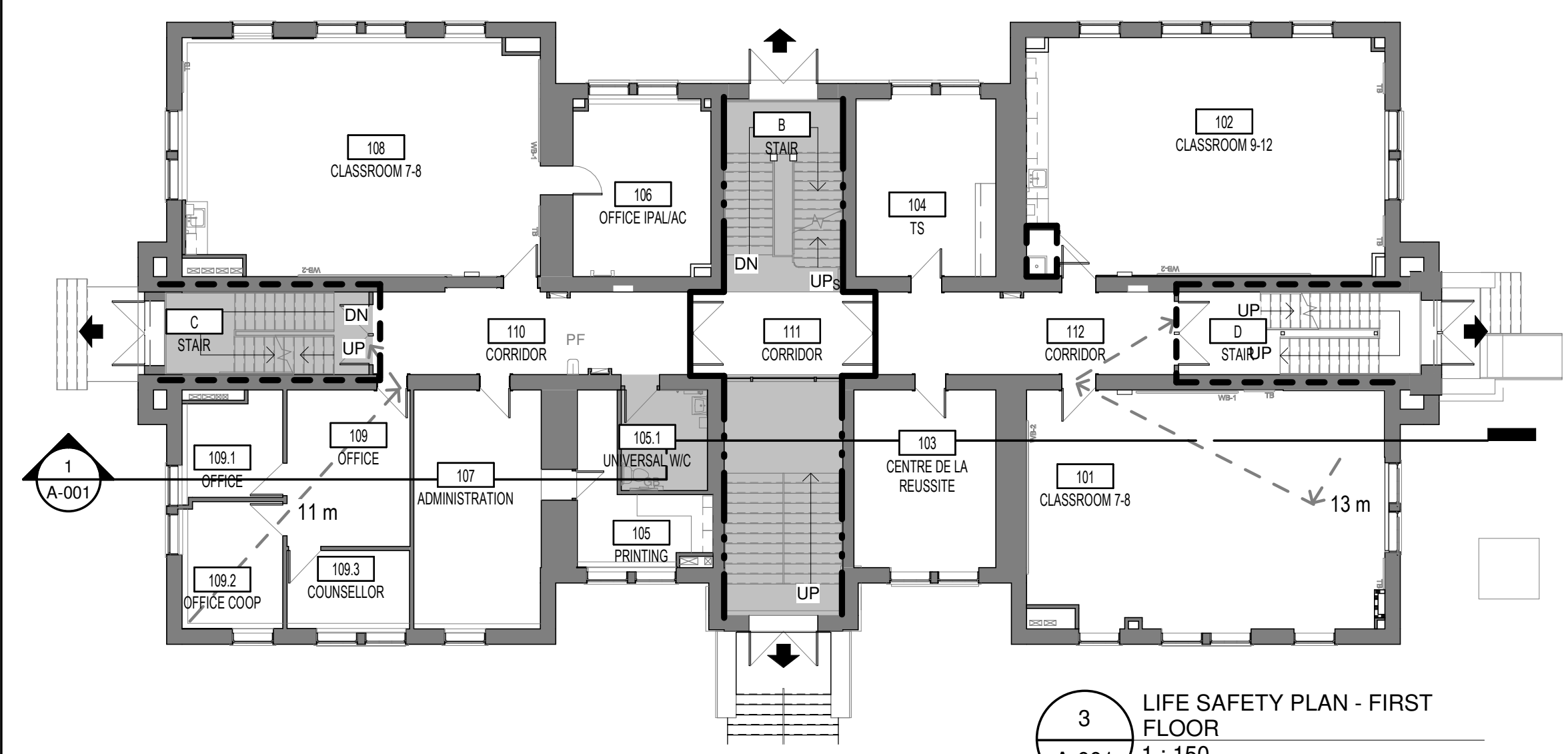
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2021-06-25

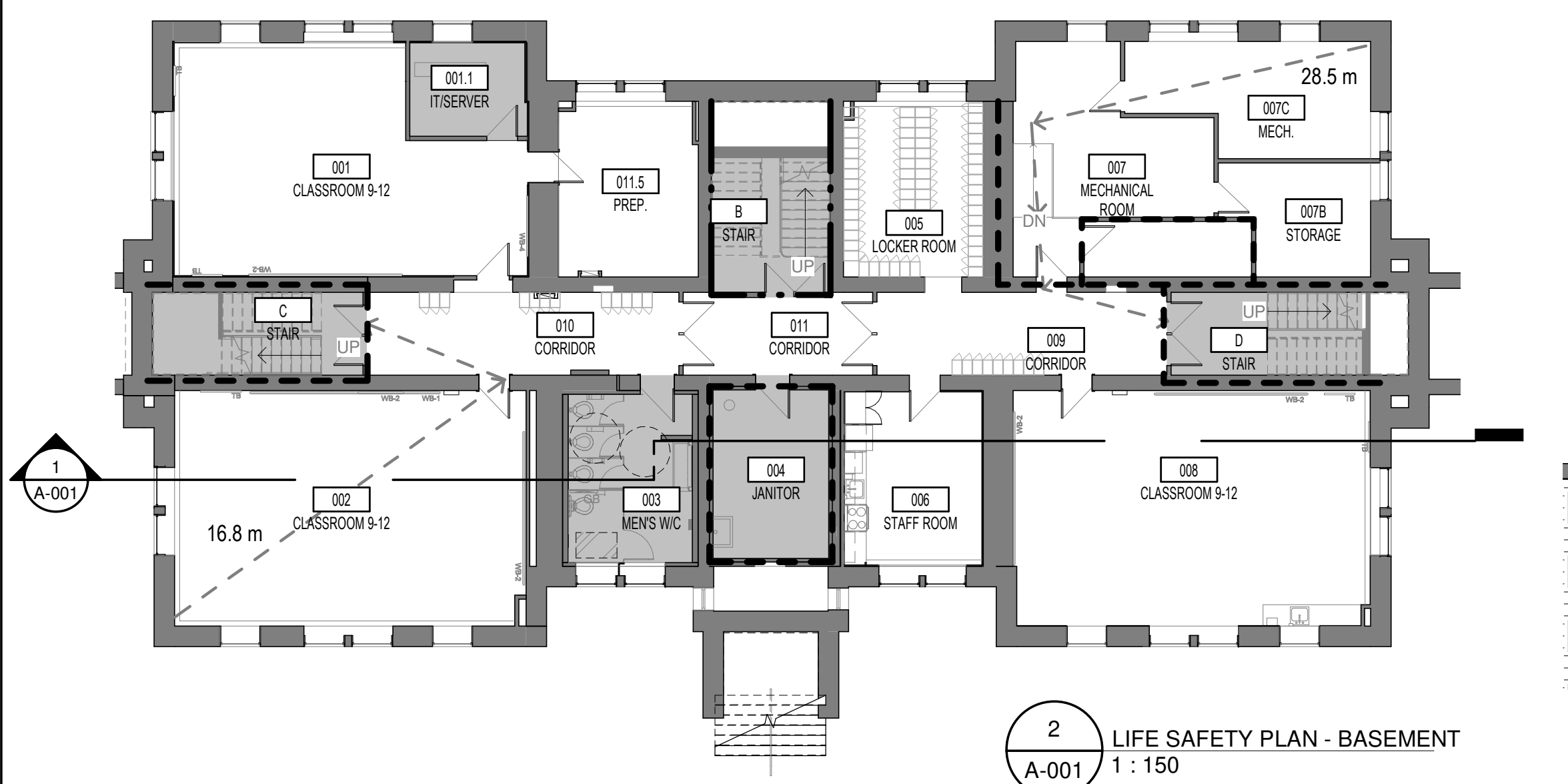
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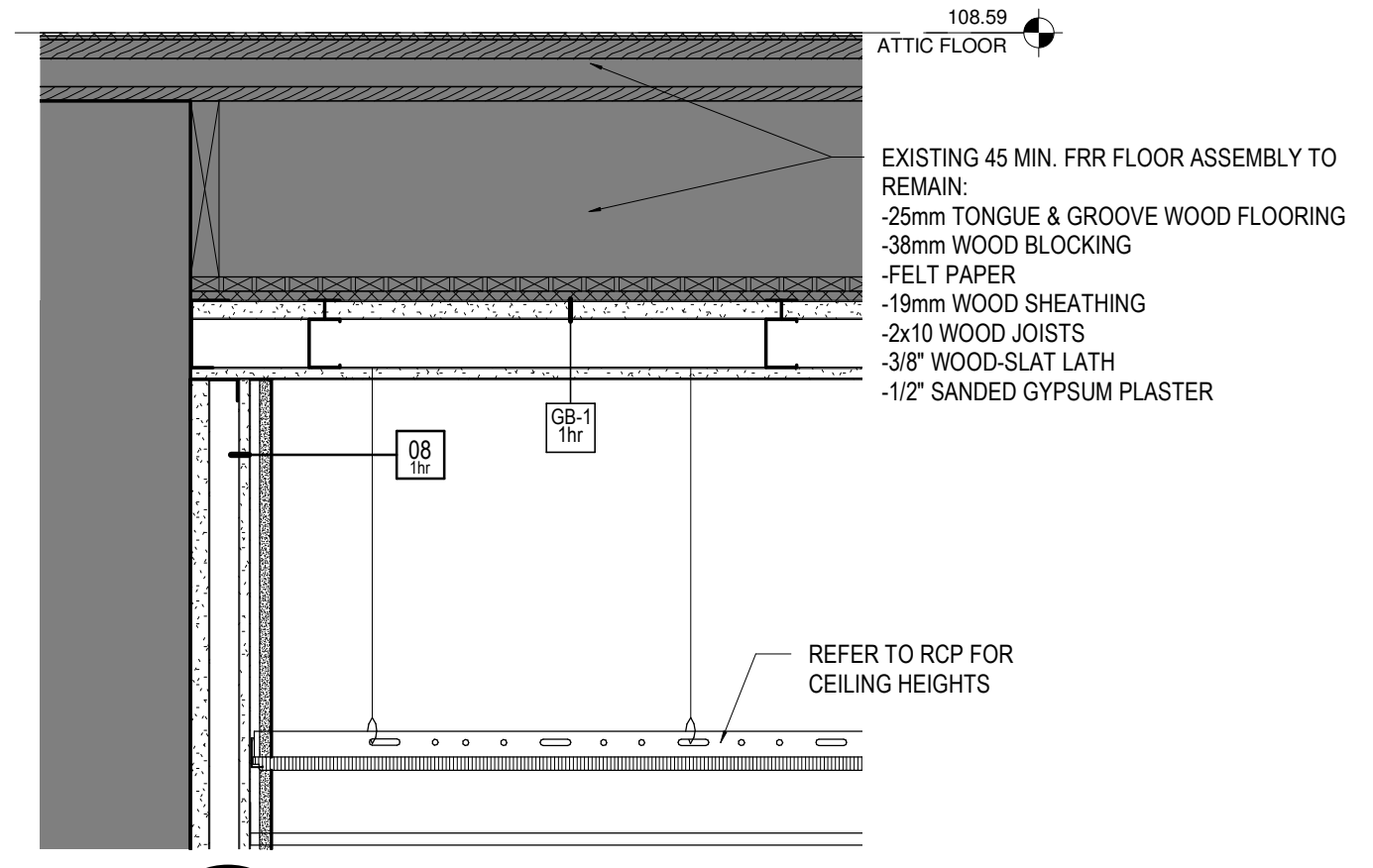
5 LIFE SAFETY PLAN - SECOND FLOOR  
A-001 1 : 150



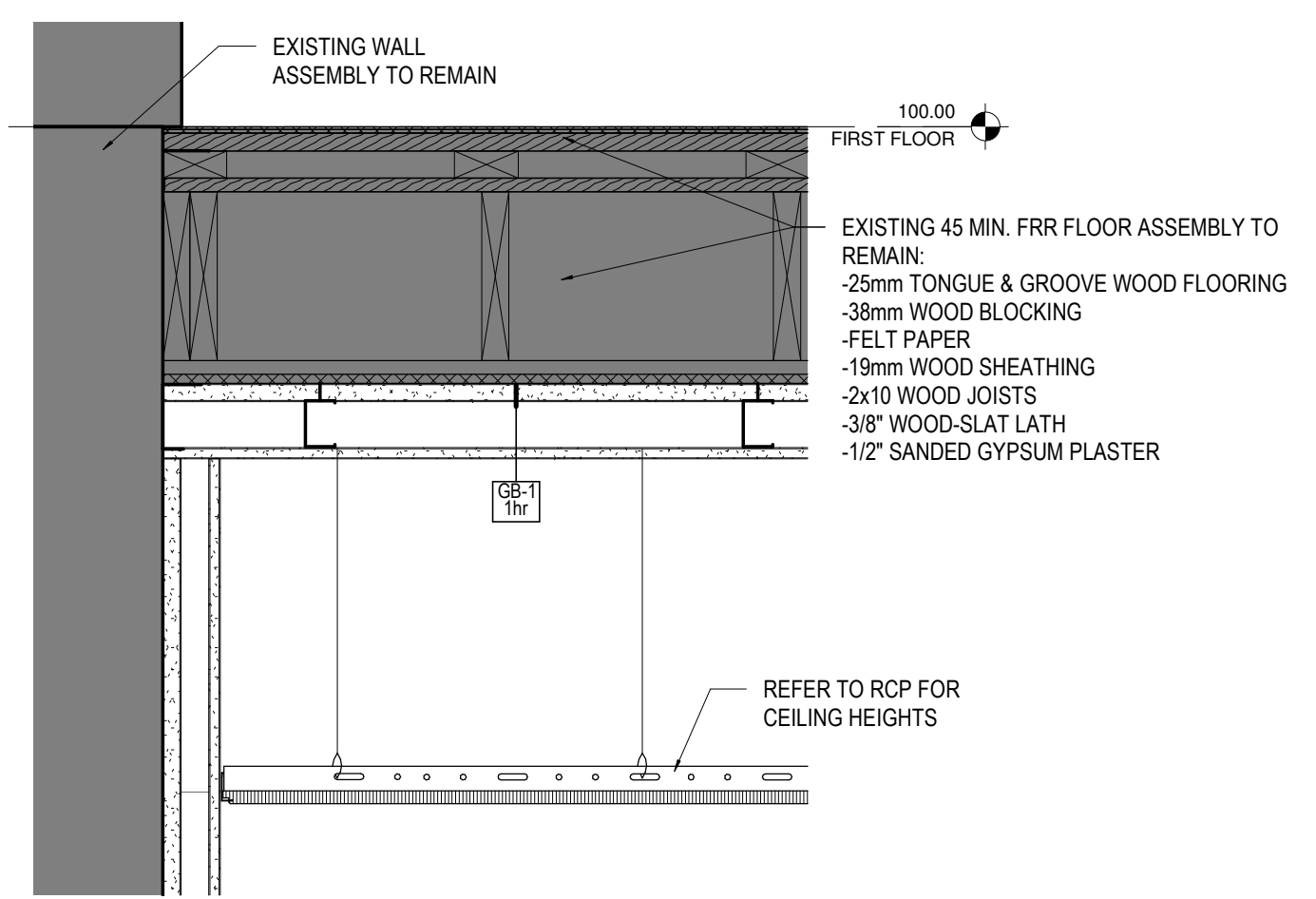
3 LIFE SAFETY PLAN - FIRST FLOOR  
A-001 1 : 150



2 LIFE SAFETY PLAN - BASEMENT  
A-001 1 : 150



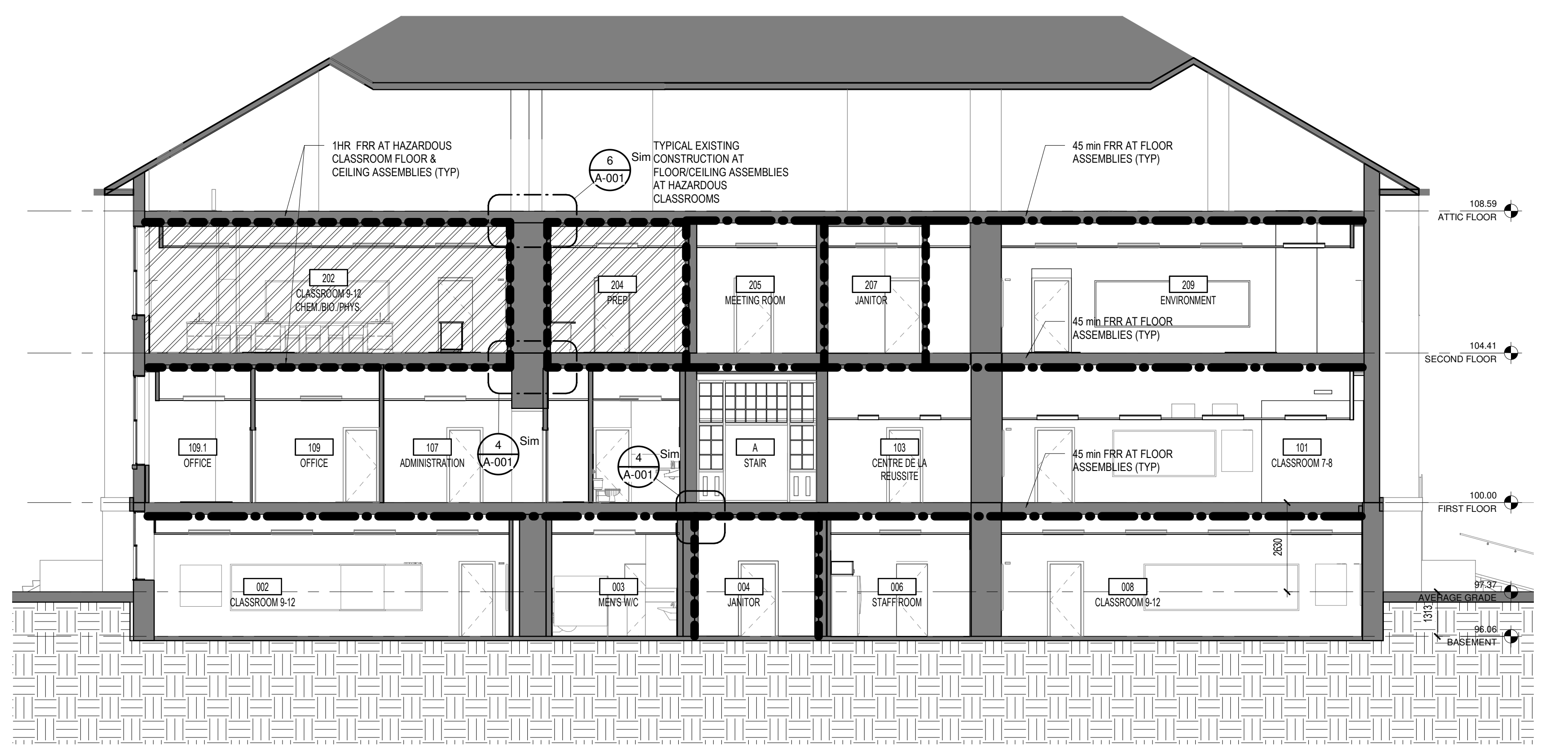
6 FIRE-RATED SHAFTWALL BELOW ATTIC  
A-001 1 : 10



4 FIRE-RATED SHAFTWALL AT EXISTING FLOOR (TYP.)  
A-001 1 : 10

**LIFE SAFETY LEGEND**

- 45 min. FIRE RATED ASSEMBLY
- - - 1 hr. FIRE RATED ASSEMBLY
- · - · 1.5 hr. FIRE RATED ASSEMBLY
- ↑ DESIGNATED FIRE EXIT
- EGRESS ROUTE MINIMUM TRAVEL DISTANCE
- ▨ HAZARDOUS CLASSROOM



1 LONGITUDINAL SECTION  
A-001 1 : 100

No. Date Émis pour / Object  
2 2021-06-30 BUILDING PERMIT / TENDER

Architecte / Paysagiste Landscape Architect

Ingénieur / Engineer (Civil / Civil)

Ingénieur / Engineer (Mécanique & Électrique) / Mechanical & Electrical

Ingénieur / Engineer (Structure / Structure)

Client / Client

Architecte / Architect

Fig. 1 3550, Saint-André O. Montréal QC H3C 1A9 T. 514 861-9122

Fig. 2 190 Somerset St W #206 Ottawa ON K2P 0A4 T. 613 695-6122

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Contractor shall verify all information and dimensions on site and immediately report any errors or omissions to the architect.

**ADMINISTRATION BUILDING - É.S.P. RIVIÈRE RIDEAU AIR CONDITIONING UPGRADE**

830 Heritage Drive, Kemptville ON

Title / Titre

LIFE SAFETY PLANS

Dessiné par / Drawn by MD No. projet / Project number 1745

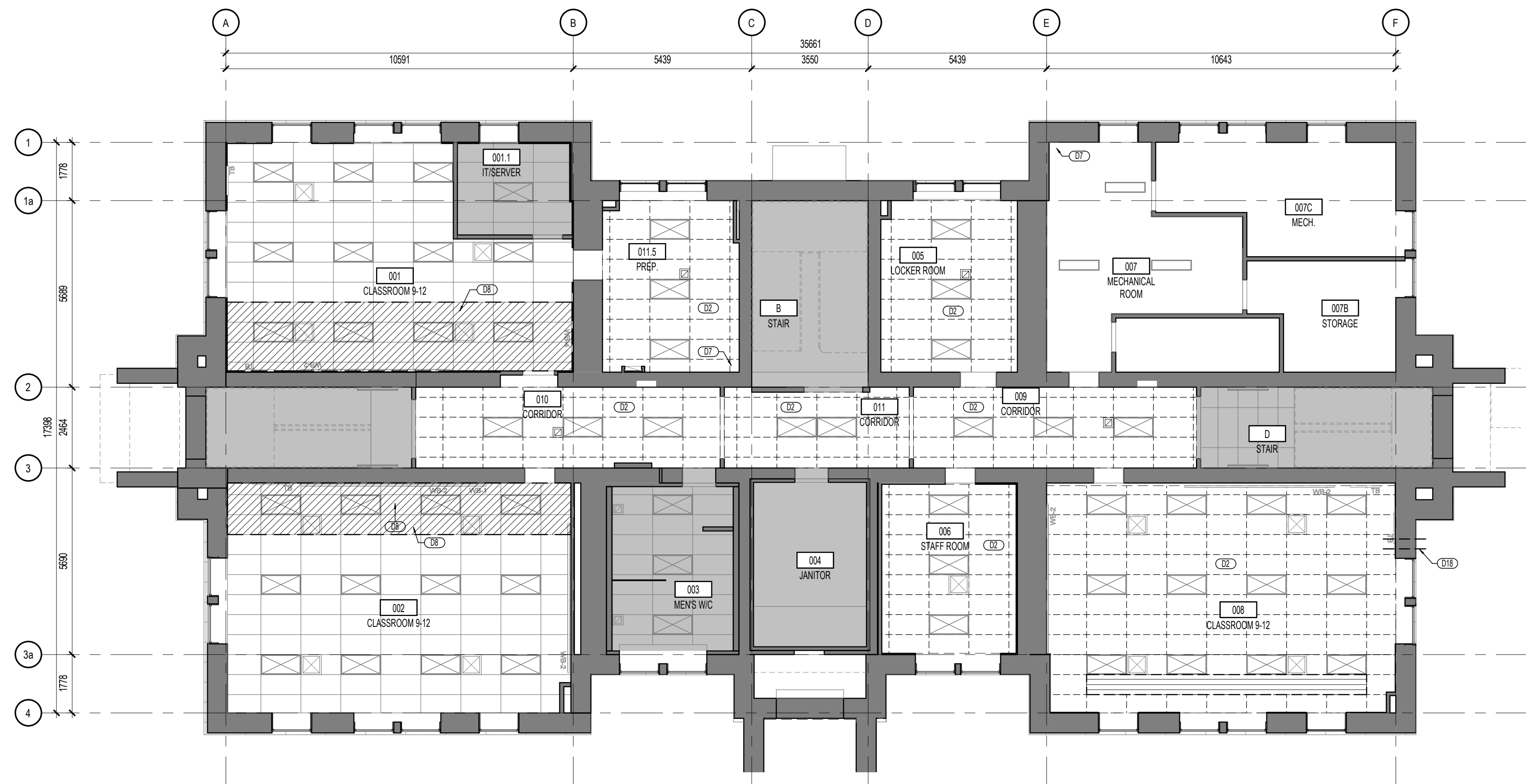
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Echelle / Scale As indicated

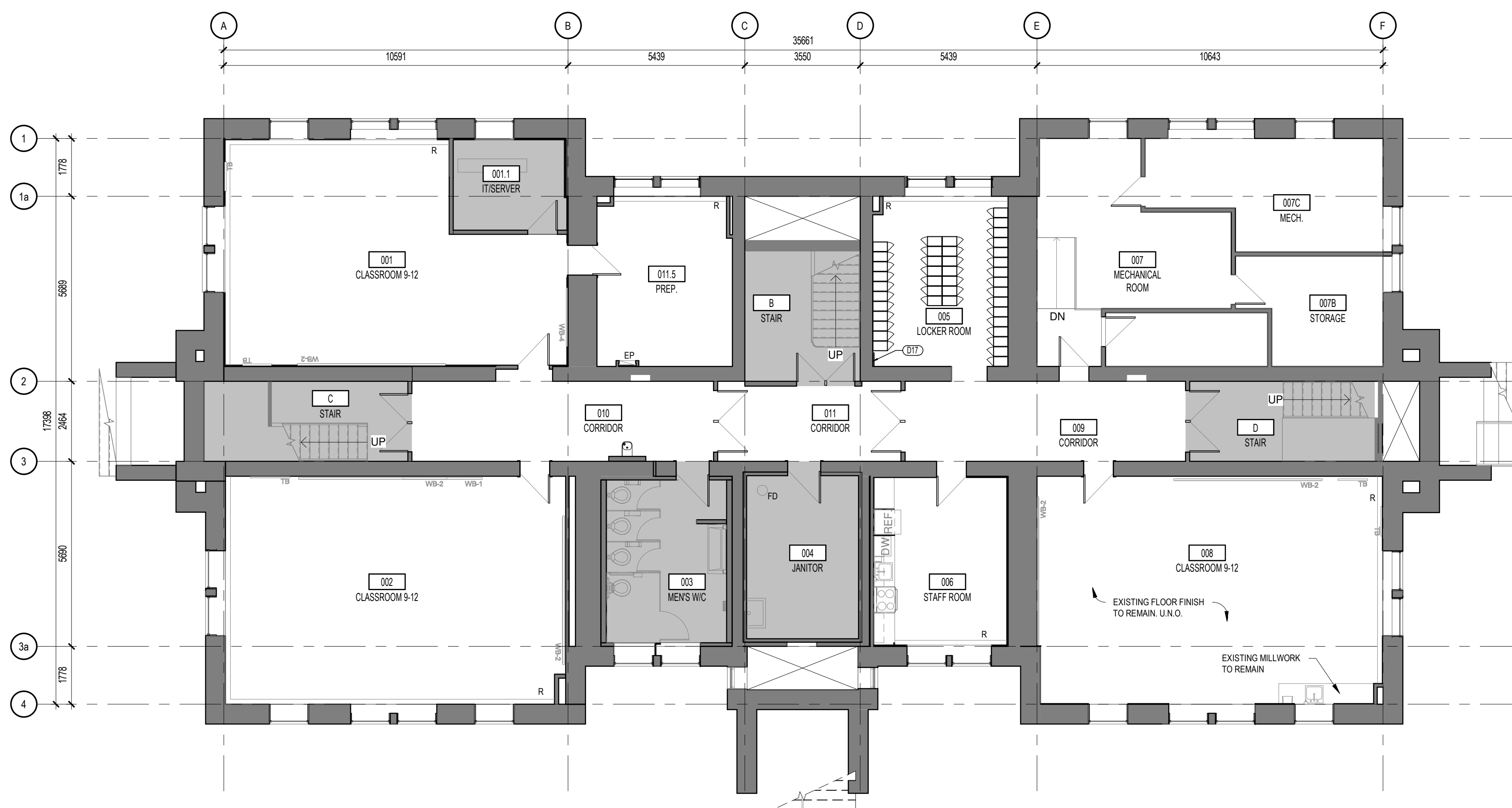
Date de création du dessin / Drawing creation date 02/14/18

2

**A-001**



2 BASEMENT DEMOLITION RCP-AC 1:100



1 BASEMENT DEMOLITION PLAN 1:100

LEGEND - DEMOLITION

- AREA NOT INCLUDED IN SCOPE OF WORK
- EXISTING PARTITION TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING FINISH FLOORING AND WALL BASE TO BE REMOVED. PATCH & REPAIR SUB-FLOOR FOR APPLICATION OF SELF-LEVELLING UNDERLAYMENT AND PATCHING COMPOUND
- APPROXIMATE EXTENT OF A.C.T. REMOVAL AND REINSTATEMENT TO ACCOMMODATE INSTALLATION OF MECHANICAL PIPING. REPLACE DAMAGED COMPONENTS WITH NEW MATCHING COMPONENTS.
- REMOVE EXISTING FLOORING AND SUB-FLOOR FOR NEW MECHANICAL SHAFT. APPROXIMATE SIZE SHOWN. COORD. W/ MECH.
- EXISTING DOOR AND HARDWARE TO BE REMOVED EXISTING FRAME TO REMAIN (TYP. U.N.O.)
- EXISTING DOOR TO REMAIN
- INDICATES THE CLEAR DIMENSION REQUIRED BETWEEN FINISHED SURFACES
- REMOVE EXISTING LIGHT FIXTURES AS REQUIRED TO ACCOMMODATE MECH. WORK. REFER TO ELECTRICAL. LIGHT FIXTURES TO BE RETAINED FOR REINSTATEMENT.
- EXISTING ACOUSTIC TILES & GRID TO BE REMOVED
- REMOVE EXISTING RADIATOR. PATCH & REPAIR EXISTING WALL AND FLOOR TO MAKE GOOD/ RECEIVE NEW FINISH. COORD. W/ FINISH PLANS. REFER TO MECH.

GENERAL NOTES - DEMOLITION

- GENERAL CONTRACTOR IS RESPONSIBLE FOR KNOWLEDGE OF EXISTING CONDITIONS. BEFORE SUBMITTING THEIR DOCUMENTS, IF APPLICABLE, THE GENERAL CONTRACTOR SHALL ANTICIPATE EXTRA WORK AND AMOUNTS FOR ANY CONDITIONS IN WHICH THE DRAWINGS DO NOT MATCH EXISTING SITE CONDITIONS.
- REFER TO DSS REPORT COMPLETED BY EXP SERVICES INC. DATED NOVEMBER 7, 2017 FOR DEMOLITION OF ASBESTOS CONTAINING MATERIALS AND ANY OTHER DESIGNATED SUBSTANCES. DSS AND ABATEMENT SPECIFICATIONS INDICATE LOCATION OF HAZARDOUS MATERIALS. DEMOLITION STANDARDS & COMPLETE SCOPE OF WORK FOR REMOVAL. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE DEMOLITION WORK INDICATED ON THE ARCHITECTURAL DRAWINGS WITH THE DSS AND ABATEMENT SPECIFICATIONS.
- GENERAL CONTRACTOR MUST PROVIDE ALL LABOUR AND MATERIALS NECESSARY TO COMPLETE THE DEMOLITION WORK SPECIFIED IN THE ARCHITECTURAL DRAWINGS, OR ANY WORK ARISING FROM DIRECTIVES ISSUED BY THE CLIENT / OWNER.
- ALL DEMOLITION WORK MUST CONFORM TO THE RULES AND REGULATIONS FOR DEMOLITION IN THE WORKER SAFETY ACT, INCLUDING HANDLING AND REMOVAL OF WASTE.
- GENERAL CONTRACTOR MUST AT ALL TIMES PROTECT THE PROPERTY OF THE CLIENT / OWNER FROM DAMAGE AND IS RESPONSIBLE FOR COMPLETING ALL REPAIRS OR REPLACEMENTS NECESSARY DUE TO DAMAGE.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS AND SURFACE PREPARATIONS TO ALL WALLS, CEILINGS, COLUMNS, BASEBOARDS, ETC. ADJACENT TO OR AFFECTED BY INTERIOR ELEMENTS SCHEDULED FOR DEMOLITION OR MODIFICATION.
- WHEN DEMOLITION WORK INCLUDES FLOOR FINISHES (IE CARPET, TILE, SHEET SURFACING, ETC), THE SURFACE MUST BE REPAIRED, SMOOTH, FLAT AND PREPARED AS REQUIRED FOR FUTURE FINISHING APPLICATION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AND DEMOLISHED ELEMENTS; FOR RECOVERY OF ALL ELEMENTS DESIGNATED FOR RELOCATION BY THE CLIENT / OWNER AND / OR ARCHITECT; AND FOR RETURNING TO THE CLIENT / OWNER ALL REMOVED EQUIPMENT, LIGHTING FIXTURES, AND MILLWORK FOR STORAGE AND FUTURE USE.
- AFTER INTERIOR WALL DEMOLITION, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL CONDUITS, ELECTRICAL BOXES, CABLES, WIRES OR OTHER EQUIPMENT NOT REQUIRED IN THE NEW CONSTRUCTION.
- WHEN WORK INCLUDES PLUMBING DEMOLITION, ALL PIPES MUST BE CUT AND SEALED. REFER TO DSS FOR SELECTIVE ABATEMENT AT LOCATIONS OF MECH. OPENINGS.
- POSITION ALL WARNING SIGNAGE IN VISIBLE LOCATIONS IN ORDER TO ALERT PEOPLE OF THE DEMOLITION WORK IN THE AREA.
- CLOSE ACCESS TO ALL NON-AUTHORIZED PEOPLE TO AREAS DURING DEMOLITION WORK.
- PROVIDE THE PROTECTION ENCLOSURES NECESSARY AND MAINTAIN SECURITY AND FIRE EXITS FOR THE CLIENT TO CONTINUE BUILDING OPERATIONS FOR REGULAR SCHOOL OPERATIONS DURING WORK.
- EXISTING GYPSUM BOARD CEILINGS TO REMAIN U.N.O.

SPECIFIC NOTES - DEMOLITION

- D2 REMOVE EXISTING A.C.T. AS REQUIRED TO ACCOMMODATE MECHANICAL WORK. GRID AND LIGHT FIXTURES GENERALLY TO REMAIN IN PLACE UNLESS OTHERWISE REQUIRED TO ACCOMMODATE WORK. COORD. W/ MECH & ELEC. STORE A.C.T. IN CLEAN, DRY AND SAFE CONDITION FOR REINSTALLATION ONCE WORK IS COMPLETE. REPAIR AND MAKE GOOD EXISTING CEILING AFTER. REPLACE DAMAGED COMPONENTS WITH MATCHING COMPONENTS
- D7 APPROXIMATE LOCATION OF MECHANICAL PENETRATION. PATCH AND REPAIR EXISTING GYPSUM BOARD AND FLOOR ASSEMBLY TO MAINTAIN FIRE RATING.
- D8 LOCALIZED REMOVAL AND REINSTATEMENT OF EXISTING A.C.T., GRID, LIGHT FIXTURES AND DIFFUSERS/INTAKE TO ACCOMMODATE INSTALLATION OF M&E PIPING AND WIRING. REPLACE DAMAGED COMPONENTS WITH MATCHING COMPONENTS
- D17 LOCALIZED REMOVAL AND REINSTATEMENT OF EXISTING GYPSUM BOARD TO ACCOMMODATE PIPING FOR HEAT PUMP CONDENSATE. COORD. W/ MECH.
- D18 APPROXIMATE LOCATION OF OPENINGS REQUIRED FOR REFRIGERANT LINES WITHIN CEILING PLENUM. COORD. W/ MECH.

No. Date Émis pour / Object

2 2021-06-30 BUILDING PERMIT / TENDER

Architecte / Architect  
 Ingénieur / Engineer  
 (Civil / Civil)  
 Ingénieur / Engineer  
 (Mechanique & Électrique / Mechanical & Electrical)  
 Ingénieur / Engineer  
 (Structure / Structure)

Architecte / Architect  
 Fig. 1  
 3550, Saint-Armande O.  
 Montréal QC H4C 1A9  
 T. 514 861-9122

Fig. 2  
 190 Somerset St W #206  
 Ottawa ON K2P 0J4  
 T. 613 695-6122

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Projet / Project  
 ADMINISTRATION BLDG -  
 É.S.P. RIVIÈRE RIDEAU AIR  
 CONDITIONING UPGRADE

830 Heritage Drive, Kemptville ON  
 Titre / Title  
 BASEMENT FLOOR - DEMOLITION

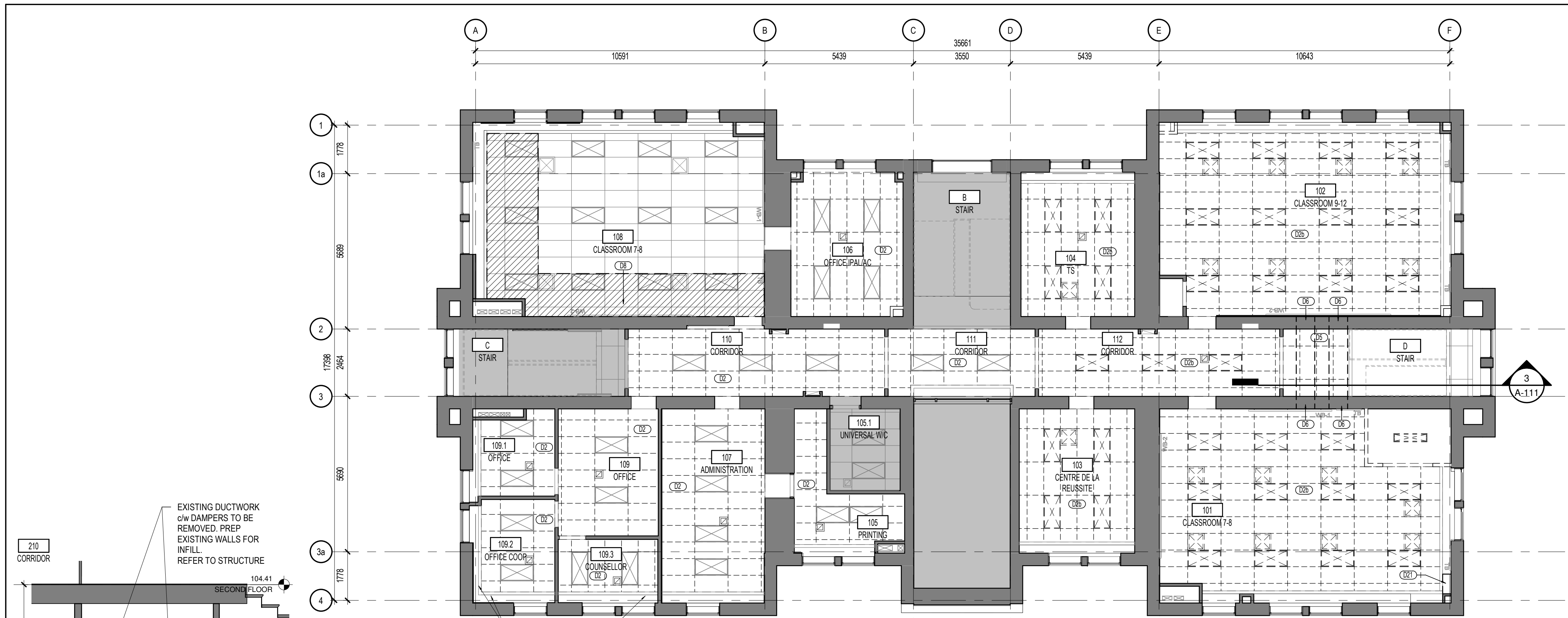
Dessiné par / Drawn by  
 MD  
 No. projet / Project number  
 1745

Vérifié par / Verified by  
 GB  
 No. dessin / Drawing number  
 Révision / Revision  
 2

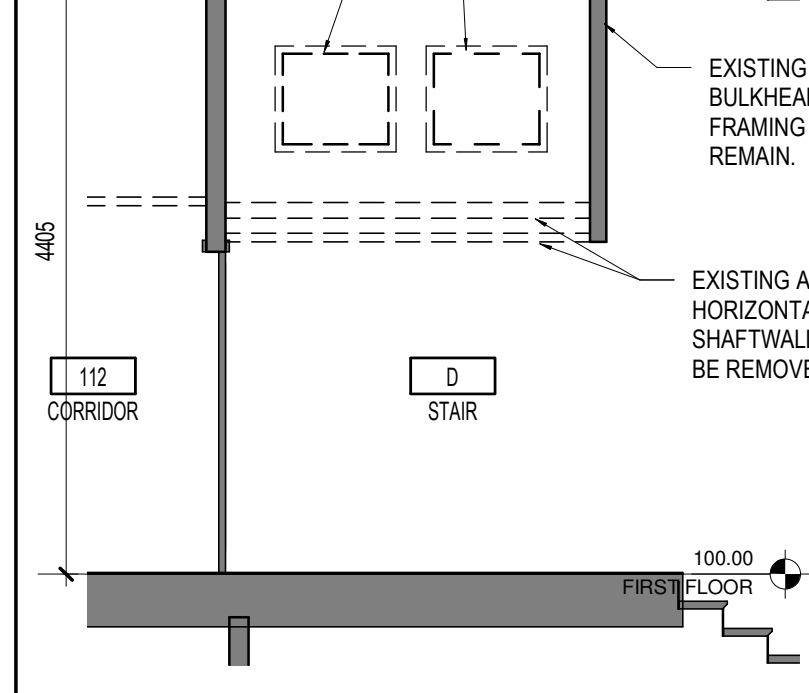
Echelle / Scale  
 As indicated

Date de création du dessin /  
 Drawing creation date  
 12/08/17

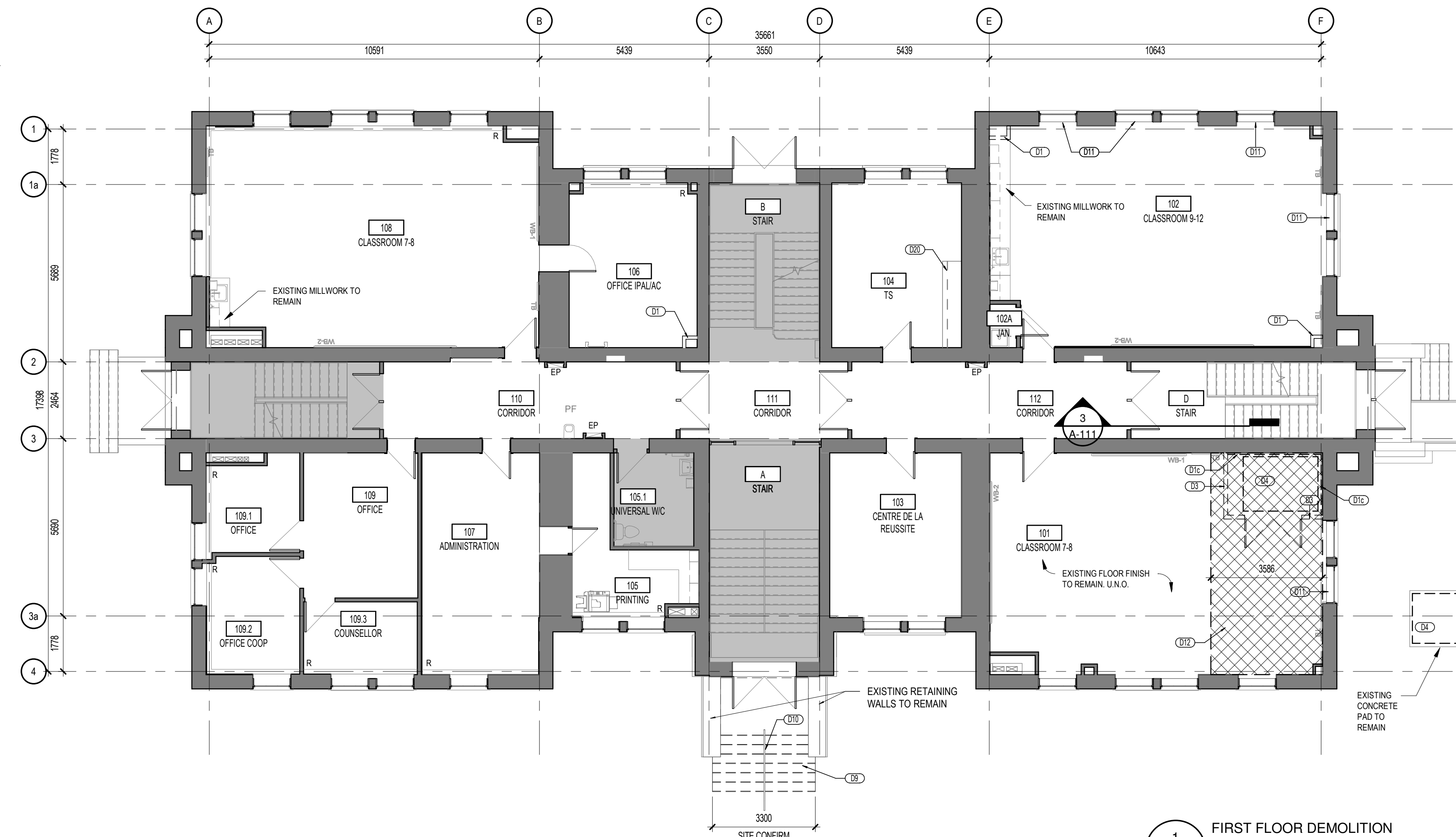
A-110



2 FIRST FLOOR RCP DEMOLITION  
A-111  
1 : 100



3 SECTION AT STAIR D - DEMOLITION  
A-111  
1 : 50



1 FIRST FLOOR DEMOLITION PLAN  
A-111  
1 : 100

LEGEND - DEMOLITION	
[Symbol]	AREA NOT INCLUDED IN SCOPE OF WORK
[Symbol]	EXISTING PARTITION TO REMAIN
[Symbol]	EXISTING WALLS TO BE REMOVED
[Symbol]	EXISTING FINISH FLOORING AND WALL BASE TO BE REMOVED. PATCH & REPAIR SUB-FLOOR FOR APPLICATION OF SELF-LEVELLING UNDERLAYMENT AND PATCHING COMPOUND
[Symbol]	APPROXIMATE EXTENT OF A.C.T. REMOVAL AND REINSTATEMENT TO ACCOMMODATE INSTALLATION OF MECHANICAL PIPING. REPLACE DAMAGED COMPONENTS WITH NEW MATCHING COMPONENTS.
[Symbol]	REMOVE EXISTING FLOORING AND SUB-FLOOR FOR NEW MECHANICAL SHAFT. APPROXIMATE SIZE SHOWN. COORD. W/ MECH.
[Symbol]	EXISTING DOOR AND HARDWARE TO BE REMOVED. EXISTING FRAME TO REMAIN (TYP. U.N.O.)
[Symbol]	EXISTING DOOR TO REMAIN
[Symbol]	INDICATES THE CLEAR DIMENSION REQUIRED BETWEEN FINISHED SURFACES
[Symbol]	REMOVE EXISTING LIGHT FIXTURES AS REQUIRED TO ACCOMMODATE MECH. WORK. REFER TO ELECTRICAL LIGHT FIXTURES TO BE RETAINED FOR REINSTATEMENT.
[Symbol]	EXISTING ACOUSTIC TILES & GRID TO BE REMOVED
[Symbol]	REMOVE EXISTING RADIATOR. PATCH & REPAIR EXISTING WALL AND FLOOR TO MAKE GOOD/RECEIVE NEW FINISH. COORD/ W/ FINISH PLANS. REFER TO MECH.

**GENERAL NOTES - DEMOLITION**

- GENERAL CONTRACTOR IS RESPONSIBLE FOR KNOWLEDGE OF EXISTING CONDITIONS. BEFORE SUBMITTING THEIR DOCUMENTS, IF APPLICABLE, THE GENERAL CONTRACTOR SHALL ANTICIPATE EXTRA WORK AND AMOUNTS FOR ANY CONDITIONS IN WHICH THE DRAWINGS DO NOT MATCH EXISTING SITE CONDITIONS.
- REFER TO DSS REPORT COMPLETED BY EXP SERVICES INC. DATED NOVEMBER 7, 2017 FOR DEMOLITION OF ASBESTOS CONTAINING MATERIALS AND ANY OTHER DESIGNATED SUBSTANCES. DSS AND ABATEMENT SPECIFICATIONS INDICATE LOCATION OF HAZARDOUS MATERIALS. DEMOLITION STANDARDS & COMPLETE SCOPE OF WORK FOR REMOVAL. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE DEMOLITION WORK INDICATED ON THE ARCHITECTURAL DRAWINGS WITH THE DSS AND ABATEMENT SPECIFICATIONS.
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- WHEN WORK INCLUDES PLUMBING DEMOLITION, ALL PIPES MUST BE CUT AND SEALED. REFER TO DSS FOR SELECTIVE ABATEMENT AT LOCATIONS OF MECH. OPENINGS.
- POSITION ALL WARNING SIGNAGE IN VISIBLE LOCATIONS IN ORDER TO ALERT PEOPLE OF THE DEMOLITION WORK IN THE AREA.
- CLOSE ACCESS TO ALL NON-AUTHORIZED PEOPLE TO AREAS DURING DEMOLITION WORK.
- PROVIDE THE PROTECTION ENCLOSURES NECESSARY AND MAINTAIN SECURITY AND FIRE EXITS FOR THE CLIENT TO CONTINUE BUILDING OPERATIONS FOR REGULAR SCHOOL OPERATIONS DURING WORK.
- EXISTING GYPSUM BOARD CEILINGS TO REMAIN U.N.O.

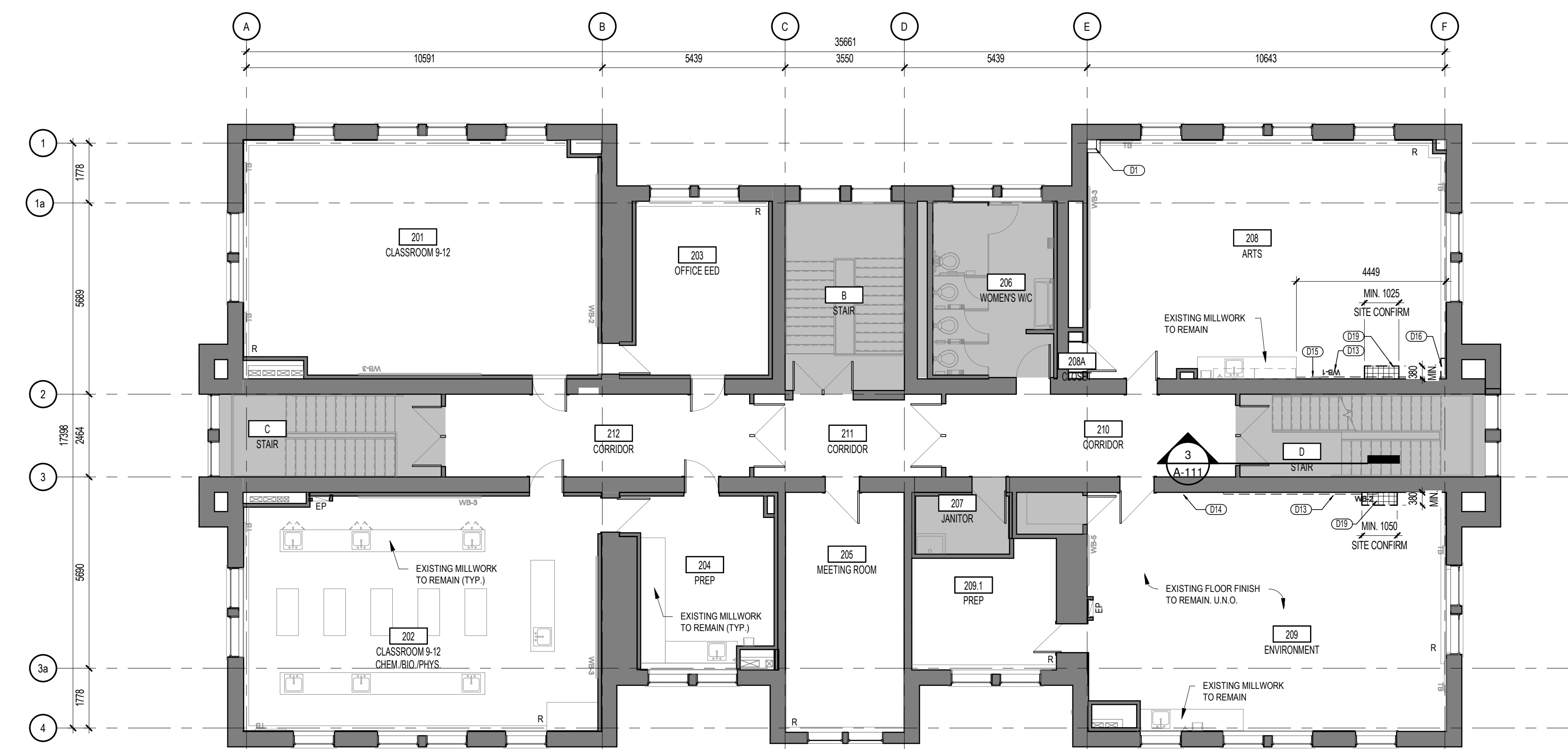
**SPECIFIC NOTES - DEMOLITION**

- D1 REMOVE EXISTING GYPSUM BOARD BUILD-OUT/PARTITION. COORD. W/ MECH. RETAIN EXISTING WALL BASE TO BE REINSTALLED.
- D1c REMOVE EXISTING WALL FINISH c/w WALL BASE TO ACCOMMODATE NEW LAMINATED GYPSUM BOARD.
- D2 REMOVE EXISTING A.C.T. AS REQUIRED TO ACCOMMODATE MECHANICAL WORK. GRID AND LIGHT FIXTURES GENERALLY TO REMAIN IN PLACE UNLESS OTHERWISE REQUIRED TO ACCOMMODATE WORK. COORD. W/ MECH & ELEC. STORE A.C.T. IN CLEAN, DRY AND SAFE CONDITION FOR REINSTALLATION ONCE WORK IS COMPLETE. REPAIR AND MAKE GOOD EXISTING CEILING AFTER. REPLACE DAMAGED COMPONENTS WITH MATCHING COMPONENTS
- D2b REMOVE EXISTING A.C.T. GRID AND LIGHT FIXTURES AS REQUIRED TO ACCOMMODATE MECHANICAL WORK. COORD. W/ MECH & ELEC.
- D3 EXISTING PARTITIONS c/w WALL BASE, DOOR, FRAME & ADJACENT CEILING TRIM TO BE REMOVED.
- D4 EXISTING MECHANICAL EQUIPMENT TO BE REMOVED. REFER TO MECH.
- D5 EXISTING ACT & HORIZONTAL SHAFTWALL CEILING TO BE REMOVED TO ACCOMMODATE DUCTWORK REMOVAL ABOVE.
- D6 EXISTING DUCTWORK TO BE REMOVED. PREPARE EXISTING WALL ASSEMBLIES FOR INFILL.
- D8 LOCALIZED REMOVAL AND REINSTATEMENT OF EXISTING A.C.T., GRID, LIGHT FIXTURES AND DIFFUSERS/INTAKE TO ACCOMMODATE INSTALLATION OF M&E PIPING AND WIRING. REPLACE DAMAGED COMPONENTS WITH MATCHING COMPONENTS
- D9 EXISTING CONCRETE STEPS AND LANDING TO BE REMOVED FOR REPLACEMENT. REFER TO STRUCTURE. REMOVE EXISTING HANDRAIL, RETAIN IN GOOD CONDITION FOR REINSTATEMENT
- D10 EXISTING RAILING TO BE REMOVED AND REINSTATED AFTER CONCRETE REPLACEMENT.
- D11 EXISTING WINDOW SILL TO BE REMOVED TO ACCOMMODATE INFILL PARTITION AT SILL.
- D12 REMOVE EXISTING VCT FLOORING AND FIRST LAYER OF PLYWOOD SUBFLOOR.
- D20 EXISTING MILLWORK FURNITURE TO REMAIN. COVER AND PROTECT DURING CONSTRUCTION.
- D21 EXISTING BULKHEAD TO BE LOCALLY REMOVED TO ACCOMMODATE SHAFTWALL AT HEAT PUMP RISERS. COORD. W/ MECH.

No. Date Émis pour / Object	
2 2021-06-30 BUILDING PERMIT / TENDER	
Architecte / Paysagiste Landscape Architect	
Ingénieur / Engineer Civil / Civil	
Ingénieur / Engineer (Mécanique & Électrique) / Mechanical & Electrical	
Ingénieur / Engineer (Structure) / Structure	
Client / Client	
<p>Fig. 1 3550, Saint-Anthoine O. Montréal QC H3C 1A9 T. 514 861-9122</p> <p>Fig. 2 190 Somerset St W #206 Ottawa ON K2P 0J4 T. 613 895-6122</p> <p>Droit d'auteur / Copyright © 2016</p> <p>Ce dessin est sujet au droit d'auteur. Il ne peut être reproduit pour quelque intention ou usage que ce soit, ni peut être utilisé en conjonction avec l'apposition de la signature et du tampon original.</p> <p>This drawing is subject to copyright. It is not to be reproduced for any purpose or by any means, and may only be used if it bears an original stamp and signature.</p>	
Dessiné / Scaled	
<p>Project / Projet</p> <p><b>ADMINISTRATION BUILDING - É.S.P. RIVIÈRE RIDEAU AIR CONDITIONING UPGRADE</b></p> <p>830 Heritage Drive, Kemptville ON</p>	
Title / Titre	
<p><b>FIRST FLOOR - DEMOLITION</b></p>	
Dessiné par / Drawn by	No. projet / Project number
MD	1745
Vérifié par / Verified by	No. dessin / Drawing number
GB	
Échelle / Scale	Revision / Révision
As indicated	2
Date de création du dessin / Drawing creation date	
12/08/17	



2 SECOND FLOOR RCP DEMOLITION  
1 : 100



1 SECOND FLOOR DEMOLITION PLAN  
1 : 100

LEGEND - DEMOLITION

- AREA NOT INCLUDED IN SCOPE OF WORK
- EXISTING PARTITION TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING FINISH FLOORING AND WALL BASE TO BE REMOVED. PATCH & REPAIR SUB-FLOOR FOR APPLICATION OF SELF-LEVELLING UNDERLAYMENT AND PATCHING COMPOUND
- APPROXIMATE EXTENT OF A.C.T. REMOVAL AND REINSTATEMENT TO ACCOMMODATE INSTALLATION OF MECHANICAL PIPING. REPLACE DAMAGED COMPONENTS WITH NEW MATCHING COMPONENTS.
- REMOVE EXISTING FLOORING AND SUB-FLOOR FOR NEW MECHANICAL SHAFT. APPROXIMATE SIZE SHOWN. COORD. W/ MECH.
- EXISTING DOOR AND HARDWARE TO BE REMOVED TO ACCOMMODATE MECH. WORK. REFER TO ELECTRICAL LIGHT FIXTURES TO BE RETAINED FOR REINSTATEMENT.
- EXISTING DOOR TO REMAIN
- DIM CLEAR INDICATES THE CLEAR DIMENSION REQUIRED BETWEEN FINISHED SURFACES
- REMOVE EXISTING LIGHT FIXTURES AS REQUIRED TO ACCOMMODATE MECH. WORK. REFER TO ELECTRICAL LIGHT FIXTURES TO BE RETAINED FOR REINSTATEMENT.
- EXISTING ACOUSTIC TILES & GRID TO BE REMOVED
- REMOVE EXISTING RADIATOR. PATCH & REPAIR EXISTING WALL AND FLOOR TO MAKE GOOD/ RECEIVE NEW FINISH. COORD. W/ FINISH PLANS. REFER TO MECH.

GENERAL NOTES - DEMOLITION

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- WHEN WORK INCLUDES PLUMBING DEMOLITION, ALL PIPES MUST BE CUT AND SEALED. REFER TO DSS FOR SELECTIVE ABATEMENT AT LOCATIONS OF MECH. OPENINGS.
- POSITION ALL WARNING SIGNAGE IN VISIBLE LOCATIONS IN ORDER TO ALERT PEOPLE OF THE DEMOLITION WORK IN THE AREA.
- CLOSE ACCESS TO ALL NON-AUTHORIZED PEOPLE TO AREAS DURING DEMOLITION WORK.
- PROVIDE THE PROTECTION ENCLOSURES NECESSARY AND MAINTAIN SECURITY AND FIRE EXITS FOR THE CLIENT TO CONTINUE BUILDING OPERATIONS FOR REGULAR SCHOOL OPERATIONS DURING WORK.
- EXISTING GYPSUM BOARD CEILINGS TO REMAIN U.N.O

SPECIFIC NOTES - DEMOLITION

- D1 REMOVE EXISTING GYPSUM BOARD BUILD-OUT/PARTITION. COORD. W/ MECH. RETAIN EXISTING WALL BASE TO BE REINSTALLED.
- D2 REMOVE EXISTING A.C.T. AS REQUIRED TO ACCOMMODATE MECHANICAL WORK. GRID AND LIGHT FIXTURES GENERALLY TO REMAIN IN PLACE UNLESS OTHERWISE REQUIRED TO ACCOMMODATE WORK. COORD. W/ MECH & ELEC. STORE A.C.T. IN CLEAN, DRY AND SAFE CONDITION FOR REINSTALLATION ONCE WORK IS COMPLETE. REPAIR AND MAKE GOOD EXISTING CEILING AFTER. REPLACE DAMAGED COMPONENTS WITH MATCHING COMPONENTS
- D6 LOCALIZED REMOVAL AND REINSTATEMENT OF EXISTING A.C.T., GRID, LIGHT FIXTURES AND DIFFUSERS/INTAKE TO ACCOMMODATE INSTALLATION OF M&E PIPING AND WIRING. REPLACE DAMAGED COMPONENTS WITH MATCHING COMPONENTS
- D13 REMOVE EXISTING WHITEBOARD. KEEP IN GOOD CONDITION AND STORE IN SECURE LOCATION FOR REINSTALLATION. PATCH, REPAIR AND MAKE GOOD EXISTING WALL THAT WILL BE EXPOSED TO RECEIVE PAINT.
- D14 REMOVE EXISTING MID-HEIGHT WOOD TRIM FULL LENGTH OF WALL.
- D15 REMOVE EXISTING MID-HEIGHT WOOD TRIM. APPROXIMATE EXTENT SHOWN.
- D16 EXISTING RADIATOR COVER TO BE CUT BACK TO ACCOMMODATE NEW PARTITION.
- D19 REMOVE EXISTING FLOOR FINISH, SUBFLOOR AND CEILING FINISH BELOW TO ACCOMMODATE MECH. SHAFT. MINIMUM CLEAR OPENING DIMENSIONS AND LOCATION SHOWN. REFER TO DETAILS. COORD. W/ MECH. REFER TO DSS FOR LOCALIZED ABATEMENT.
- D21 EXISTING BULKHEAD TO BE LOCALLY REMOVED TO ACCOMMODATE SHAFTWALL AT HEAT PUMP RISERS. COORD. W/ MECH.

No.	Date	Émis pour / Object
2	2021-06-30	BUILDING PERMIT / TENDER

Architecte / Architect  
 Ingénieur / Engineer  
 (Civil / Civil)  
 Ingénieur / Engineer  
 (Mécanique & Électrique / Mechanical & Electrical)  
 Ingénieur / Engineer  
 (Structure / Structure)

**wsp**

**CLELAND JARDINE**  
ENGINEERING LTD.

200-500 TERRY ROAD, DR. KANAWA, ON. M2L 4B9  
(416) 317-1250

**Conseil des écoles publiques de l'Est de l'Ontario**

**figuri**

190 Somerset St W #206  
Ottawa ON K2P 0A4  
T. 613 695-6122

02016

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Projet / Project  
 Note:  
 L'entrepreneur doit vérifier toutes les dimensions et informations sur le site et s'assurer immédiatement l'architecte de toutes erreurs ou omissions.  
 The contractor shall verify all information and dimensions on site and immediately report any errors or omissions to the architect.

ADMINISTRATION BLDG -  
É.S.P RIVIÈRE RIDEAU AIR  
CONDITIONING UPGRADE

830 Heritage Drive, Kemptville ON

Titre / Title  
**SECOND FLOOR - DEMOLITION**

Dessiné par / Drawn by  
 MD 1745

Vérifié par / Verified by  
 GB

Echelle / Scale  
 As indicated

Date de création du dessin /  
 Drawing creation date  
 12/08/17

No. projet / Project number  
 1745

No. dessin / Drawing number  
 2

**A-112**

**LEGEND - PAINT**

- (P1) FIELD BENJAMIN MOORE FROSTINE F-5 (OR APPROVED EQUIVALENT) WALL BASE: RUBBER TO MATCH EXISTING ADJACENT COLOUR AND PROFILE
- (P7) GYPSUM BOARD CEILINGS & BULKHEADS WHITE

**LEGEND - FINISHES**

- (VT1) VINYL COMPOSITE TILE - FIELD 305mm x 305mm VINYL COMPOSITE TILE MANUFACTURER: ARMSTRONG STYLE: EXCELRON IMPERIAL TEXTURE COLOUR: COOL WHITE 51889 WALL BASE: RUBBER TO MATCH EXISTING ADJACENT COLOUR AND PROFILE

**LEGEND - CONSTRUCTION**

- AREA NOT INCLUDED IN SCOPE OF WORK
- EXISTING WALL TO REMAIN
- NEW PARTITION
- EXISTING DOOR TO REMAIN
- ALI ALIGN DESIGNATED SURFACES
- DM CLEAR INDICATES THE CLEAR DIMENSION REQUIRED BETWEEN FINISHED SURFACES
- FD EXISTING FLOOR DRAIN
- WB-1 EXISTING WHITEBOARD TO REMAIN
- WB-2 EXISTING WHITEBOARD TO REMAIN
- TB EXISTING TACKBOARD TO REMAIN

**GENERAL NOTES - CONSTRUCTION**

- UNLESS NOTED OTHERWISE, ALL NEW PARTITIONS TO MATCH EXISTING ADJACENT PARTITIONS.
- UNLESS NOTED OTHERWISE, NEW FLOOR AND BASEBOARD FINISHES TO MATCH EXISTING.
- SUPPLY AND INSTALL BLOCKING AND NAILERS FOR ALL PARTITIONS SUPPORTING MILLWORK, SHELVES, ETC.
- UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TAKEN FROM CENTRE OF WALL OR OPENING.
- COORDINATE DIMENSIONS OF OPENINGS WITH SPECIFICATIONS FOR EQUIPMENT SUPPLIED AND INSTALLED.
- UNLESS NOTED OTHERWISE, ALL EQUIPMENT IS SUPPLIED AND INSTALLED BY GC. GC TO COORDINATE AND SUPPLY REQUIRED SERVICES FOR EQUIPMENT.
- PROVIDE HOARDING, DUST SCREENS OR OTHER RETENTION DEVICES TO PROTECT EXISTING BUILDING ELEMENTS. CONTRACTOR TO PROTECT ALL AREAS OUTSIDE CONTRACT FROM DEBRIS AND DUST. ALL EXISTING WALLS DAMAGED BY WORK UNDER THIS CONTRACT TO BE PATCHED AND REPAIRED TO MATCH EXISTING ADJACENT SURFACE.
- WATER-RESISTANT GYPSUM BOARD, 1220mm A.F.F. REQUIRED IN ALL LOCATIONS WITH EXPOSURE TO WATER OR HUMIDITY THIS INCLUDES, BUT IS NOT LIMITED TO, WASHROOMS, JANITOR ROOM, KITCHEN WALLS ABOVE MILLWORK CABINETRY INCLUDING SINKS UP TO UNDERSIDE OF UPPER CABINETS.
- CAULK AND SEAL AT ALL MECHANICAL AND ELECTRICAL PENETRATIONS.
- DO NOT ALTER STRUCTURAL BUILDING ELEMENTS IN ANY WAY. ALL FINISH WORK TO BE PERFORMED AROUND EXISTING STRUCTURE.
- PROVIDE FIRE-STOPPING FOR ALL MECHANICAL AND ELECTRICAL PENETRATIONS THROUGH EXISTING AND NEW FR ASSEMBLIES - REFER TO A-001. INFILL ALL ABANDONED PENETRATIONS WITH FIRESTOPPING TO SUIT, AS REQUIRED.

**EXISTING BUILDING TYPICAL NOTES:**

- VERIFY THE CONFORMITY OF ALL MECHANICAL, ELECTRICAL AND FIRE ALARM SYSTEMS, AND MODIFY THEIR DISTRIBUTION IN THE RENOVATED SPACES ACCORDINGLY.
- REFINISH EXISTING WALLS AROUND NEW OPENINGS AND PATCH ALL HOLES FOR CONDUITS OR CABLES. ENSURE THE CONTINUED INTEGRITY OF THE WALL.
- REFINISH ALL EXISTING WALLS IN AREAS WHERE ADJACENT WALLS OR FLOORS HAVE BEEN DEMOLISHED.
- ALL PARTITIONS THAT EXTEND FROM SLAB TO SLAB ARE TO BE ALIGNED WITH GEOMETRY OF THE SLABS IN ORDER TO ENSURE THAT THE ENTIRE PERIMETER IS APPROPRIATELY SEALED AS REQUIRED TO ATTAIN THE NECESSARY FIRE RESISTANCE RATING AND ACOUSTICAL PERFORMANCE.
- FILL ALL VOIDS AND JOINTS WITH ACOUSTIC INSULATION AND SEAL WITH ACOUSTIC SEALANT IN ALL ACOUSTIC PARTITIONS.
- COORDINATE OPENINGS IN PARTITIONS WITH MECHANICAL (SEE MECHANICAL DRAWINGS).
- PLYWOOD PANELS USED AS NAILING SURFACES IN ELECTRICAL ROOMS ARE TO BE FIRE-RESISTANT.

**GENERAL NOTES - FINISHES**

- WHERE REQUIRED, PREPARE THE FLOOR FOR INSTALLATION OF NEW FINISH
- PROVIDE APPROPRIATE TRIM ACCESSORIES AT TRANSITIONS BETWEEN FLOOR MATERIALS
- UNLESS OTHERWISE INDICATED, ALL WALLS TO BE PAINTED P1, AND ALL DOORS TO BE PAINTED P6
- ALL EXISTING AND NEW BULKHEADS TO BE PAINTED P7
- AT LOCATIONS WITH EXISTING DEMOUNTABLE PARTITIONS, CONTRACTOR TO PAINT PARTITIONS ONLY.

**SPECIFIC NOTES - CONSTRUCTION**

No.	Date	Émis pour / Object
2	2021-06-30	BUILDING PERMIT / TENDER

Architecte Paysagiste Landscape Architect

Ingenieur / Engineer  
(Civil / Civil)

Ingenieur / Engineer  
(Mécanique & Électrique / Mechanical & Electrical)

Ingenieur / Engineer  
(Structure / Structure)

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ONTARIO ASSOCIATION OF ARCHITECTS  
ROBERTO CAMPOS  
LICENCE 7401

Project / Project  
**ADMINISTRATION BUILDING - É.S.P RIVIÈRE RIDEAU AIR CONDITIONING UPGRADE**

830 Heritage Drive, Kemptville ON

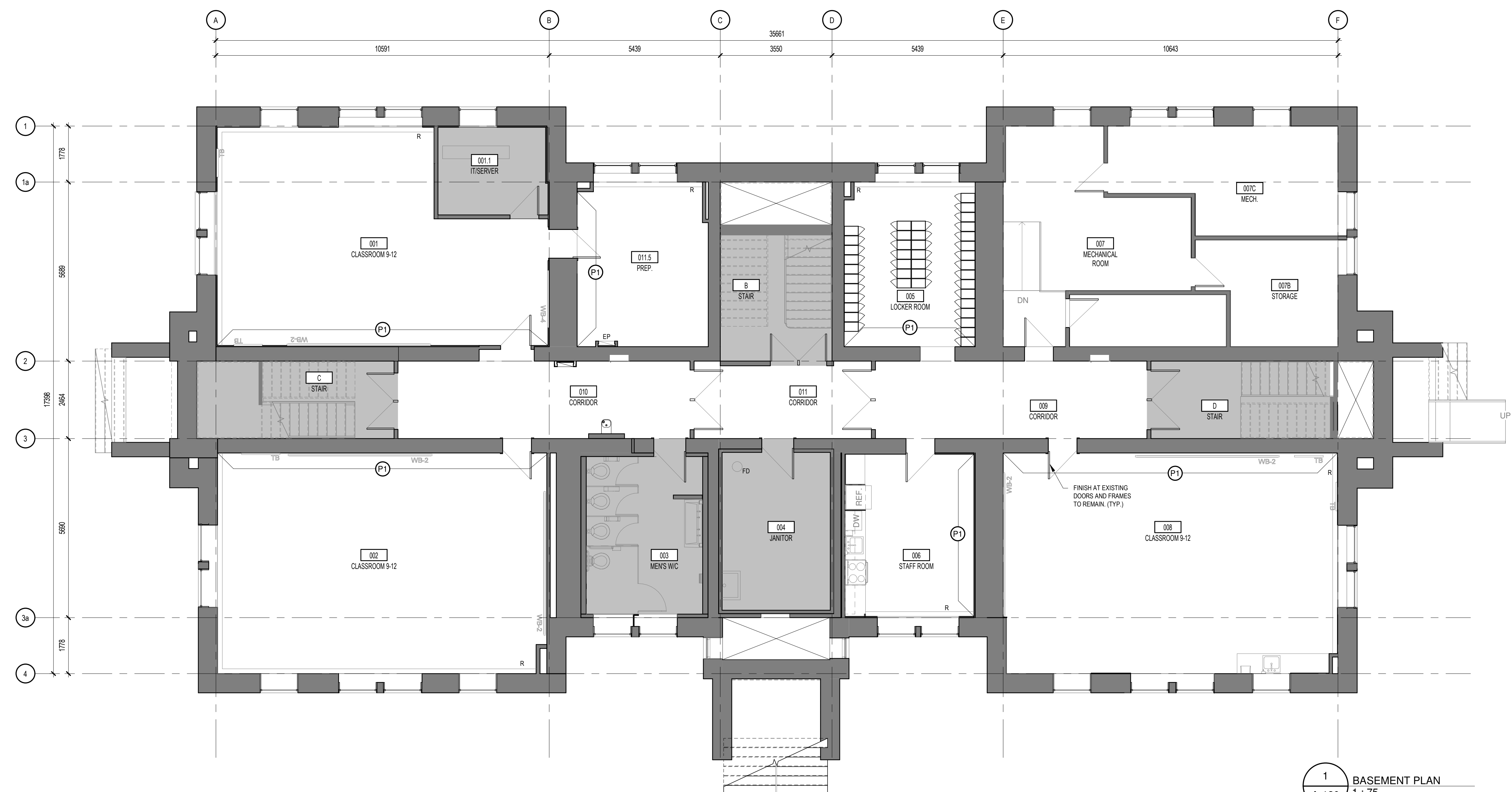
Title / Titre  
**BASEMENT PLAN**

Dessiné par / Drawn by  
MD, PC  
No. projet / Project number  
1745

Vérifié par / Verified by  
RC  
No. dessin / Drawing number  
2

Échelle / Scale  
As indicated  
Date de création du dessin / Drawing creation date  
12/08/17

**A-120**



**1**  
A-120 BASEMENT PLAN  
1 : 75



LEGEND - PAINT	
(P1)	FIELD BENJAMIN MOORE FROSTINE F-5 (OR APPROVED EQUIVALENT) WALL BASE: RUBBER TO MATCH EXISTING ADJACENT COLOUR AND PROFILE
(P7)	GYPSUM BOARD CEILINGS & BULKHEADS WHITE

LEGEND - FINISHES	
(VT1)	VINYL COMPOSITE TILE - FIELD 305mm x 305mm VINYL COMPOSITE TILE MANUFACTURER: ARMSTRONG STYLE: EXCELRON IMPERIAL TEXTURE COLOUR: COOL WHITE 51889 WALL BASE: RUBBER TO MATCH EXISTING ADJACENT COLOUR AND PROFILE

LEGEND - CONSTRUCTION	
[Grey Box]	AREA NOT INCLUDED IN SCOPE OF WORK
[Dark Grey Box]	EXISTING WALL TO REMAIN
[White Box]	NEW PARTITION
[Triangle]	EXISTING DOOR TO REMAIN
[Line]	ALIGN DESIGNATED SURFACES
[Arrow]	INDICATES THE CLEAR DIMENSION REQUIRED BETWEEN FINISHED SURFACES
(FD)	EXISTING FLOOR DRAIN
WB-1	EXISTING WHITEBOARD TO REMAIN
WB-2	EXISTING WHITEBOARD TO REMAIN
TB	EXISTING TACKBOARD TO REMAIN

**GENERAL NOTES - CONSTRUCTION**

- UNLESS NOTED OTHERWISE, ALL NEW PARTITIONS TO MATCH EXISTING ADJACENT PARTITIONS.
- UNLESS NOTED OTHERWISE, NEW FLOOR AND BASEBOARD FINISHES TO MATCH EXISTING.
- SUPPLY AND INSTALL BLOCKING AND NAILERS FOR ALL PARTITIONS SUPPORTING MILLWORK, SHELVES, ETC.
- UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TAKEN FROM CENTRE OF WALL OR OPENING.
- COORDINATE DIMENSIONS OF OPENINGS WITH SPECIFICATIONS FOR EQUIPMENT SUPPLIED AND INSTALLED.
- UNLESS NOTED OTHERWISE, ALL EQUIPMENT IS SUPPLIED AND INSTALLED BY GC. GC TO COORDINATE AND SUPPLY REQUIRED SERVICES FOR EQUIPMENT.
- PROVIDE HOARDING, DUST SCREENS OR OTHER RETENTION DEVICES TO PROTECT EXISTING BUILDING ELEMENTS. CONTRACTOR TO PROTECT ALL AREAS OUTSIDE CONTRACT FROM DEBRIS AND DUST. ALL EXISTING WALLS DAMAGED BY WORK UNDER THIS CONTRACT TO BE PATCHED AND REPAIRED TO MATCH EXISTING ADJACENT SURFACE.
- WATER-RESISTANT GYPSUM BOARD, 1220mm A.F.F. REQUIRED IN ALL LOCATIONS WITH EXPOSURE TO WATER OR HUMIDITY THIS INCLUDES, BUT IS NOT LIMITED TO, WASHROOMS, JANITOR ROOM, KITCHEN WALLS ABOVE MILLWORK CABINETS INCLUDING SINKS UP TO UNDERSIDE OF UPPER CABINETS.
- CAULK AND SEAL AT ALL MECHANICAL AND ELECTRICAL PENETRATIONS.
- DO NOT ALTER STRUCTURAL BUILDING ELEMENTS IN ANY WAY. ALL FINISH WORK TO BE PERFORMED AROUND EXISTING STRUCTURE.
- PROVIDE FIRE STOPPING FOR ALL MECHANICAL AND ELECTRICAL PENETRATIONS THROUGH EXISTING AND NEW FR ASSEMBLIES. REFER TO A-001. INFILL ALL ABANDONED PENETRATIONS WITH FIRESTOPPING TO SUIT, AS REQUIRED.

**EXISTING BUILDING TYPICAL NOTES:**

- VERIFY THE CONFORMITY OF ALL MECHANICAL, ELECTRICAL AND FIRE ALARM SYSTEMS, AND MODIFY THEIR DISTRIBUTION IN THE RENOVATED SPACES ACCORDINGLY.
- REFINISH EXISTING WALLS AROUND NEW OPENINGS AND PATCH ALL HOLES FOR CONDUITS OR CABLES. ENSURE THE CONTINUED INTEGRITY OF THE WALL.
- REFINISH ALL EXISTING WALLS IN AREAS WHERE ADJACENT WALLS OR FLOORS HAVE BEEN DEMOLISHED.
- ALL PARTITIONS THAT EXTEND FROM SLAB TO SLAB ARE TO BE ALIGNED WITH GEOMETRY OF THE SLABS IN ORDER TO ENSURE THAT THE ENTIRE PERIMETER IS APPROPRIATELY SEALED AS REQUIRED TO ATTAIN THE NECESSARY FIRE RESISTANCE RATING AND ACOUSTICAL PERFORMANCE.
- FILL ALL VOIDS AND JOINTS WITH ACOUSTIC INSULATION AND SEAL WITH ACOUSTIC SEALANT IN ALL ACOUSTIC PARTITIONS.
- COORDINATE OPENINGS IN PARTITIONS WITH MECHANICAL (SEE MECHANICAL DRAWINGS).
- PLYWOOD PANELS USED AS NAILING SURFACES IN ELECTRICAL ROOMS ARE TO BE FIRE-RESISTANT.

**GENERAL NOTES - FINISHES**

- WHERE REQUIRED, PREPARE THE FLOOR FOR INSTALLATION OF NEW FINISH
- PROVIDE APPROPRIATE TRIM ACCESSORIES AT TRANSITIONS BETWEEN FLOOR MATERIALS
- UNLESS OTHERWISE INDICATED, ALL WALLS TO BE PAINTED P1, AND ALL DOORS TO BE PAINTED P6
- ALL EXISTING AND NEW BULKHEADS TO BE PAINTED P7
- AT LOCATIONS WITH EXISTING DEMOUNTABLE PARTITIONS, CONTRACTOR TO PAINT PARTITIONS ONLY.

**SPECIFIC NOTES - CONSTRUCTION**

- CONCRETE STEPS AND LANDING. REFER TO STRUCTURE. EXISTING HANDRAIL TO BE REINSTATED, PROVIDE BASEPLATE CONNECTION AS REQUIRED FOR INSTALLATION.
- VCT FLOORING c/w WALL BASE TO MATCH EXISTING ADJACENT. PATCH, REPAIR AND MAKE GOOD EXISTING WOOD SUBFLOOR. PROVIDE 1/4" PLYWOOD SUBFLOOR AS REQUIRED FOR FLOOR FINISH INSTALLATION.
- EXISTING TACK BOARD TO BE RELOCATED TO ACCOMMODATE FURRING PARTITION. PATCH AND REPAIR EXISTING WALL SURFACE AS REQUIRED TO MAKE GOOD
- PROVIDE 16 mm GYPSUM BOARD LAMINATED TO EXISTING WALL ASSEMBLY c/w WALL BASE (FULL LENGTH OF WALL) TO MATCH EXISTING ADJACENT BASE. PROVIDE J-TRIM AT JUNCTION w/ EXISTING ADJACENT WALL FINISH.
- EXISTING CONCRETE PAD TO BE EXTENDED. REFER TO STRUCTURE. COORD. w/ MECH.
- FIRE-RATED SHAFT AT HEAT PUMP RISERS. COORD. w/ MECH.
- PROVIDE PLYWOOD WINDOW SILL c/w WHITE P.LAM. REFER TO DETAILS.
- PROVIDE GYPSUM BOARD INFILL BELOW WINDOW SILLS TO PROVIDE CONTINUOUS FLAT SURFACE FOR INSTALLATION OF PERIMETER RADIATOR. REFER TO DETAILS. COORD. w/ MECH.

No. / Date / Émis pour / Object

Architecte Paysagiste Landscape Architect

Ingénieur / Engineer (Civil / Civil)

Ingénieur / Engineer (Mécanique & Électrique / Mechanical & Electrical)

Ingénieur / Engineer (Structure / Structure)

Client / Client

Architecte / Architect

fig. 1  
3550, Saint-André St. C. Montréal QC H3C 1A9 T. 514 861-9122

fig. 2  
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PROJET / PROJECT

**ADMINISTRATION BLDG - É.S.P RIVIÈRE RIDEAU AIR CONDITIONING UPGRADE**

830 Heritage Drive, Kemptville ON

Titre / Title

**FIRST FLOOR PLAN**

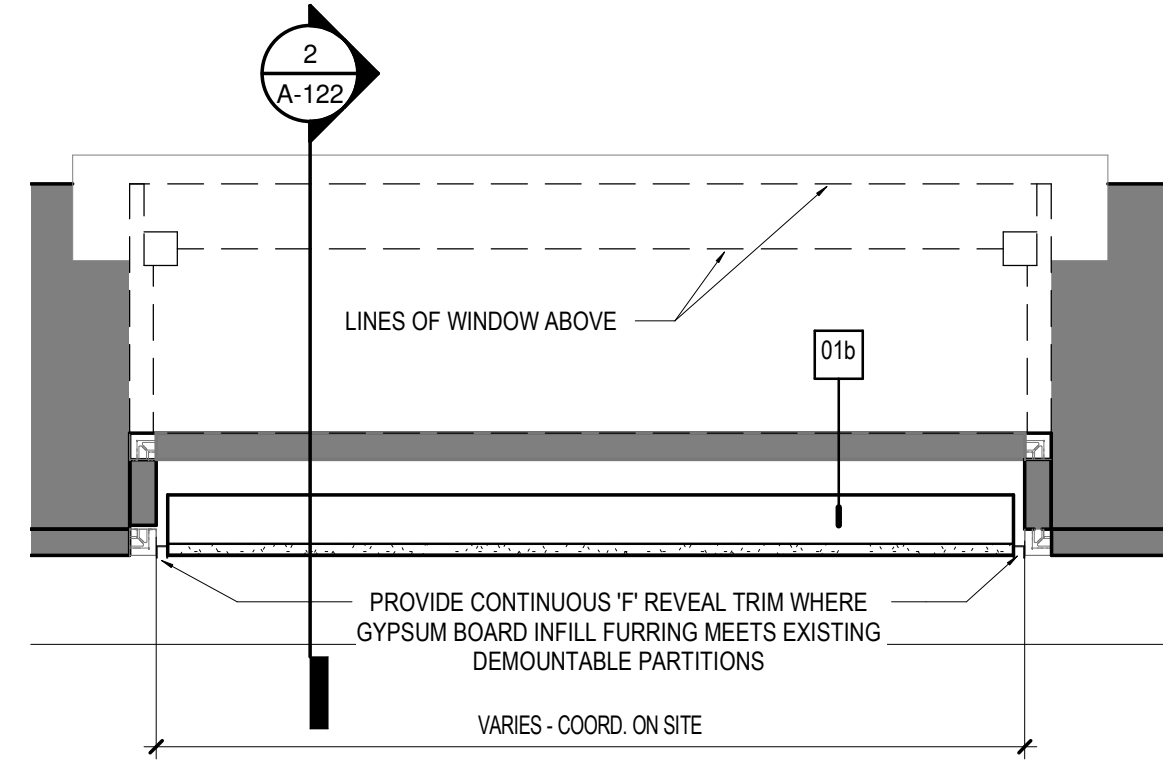
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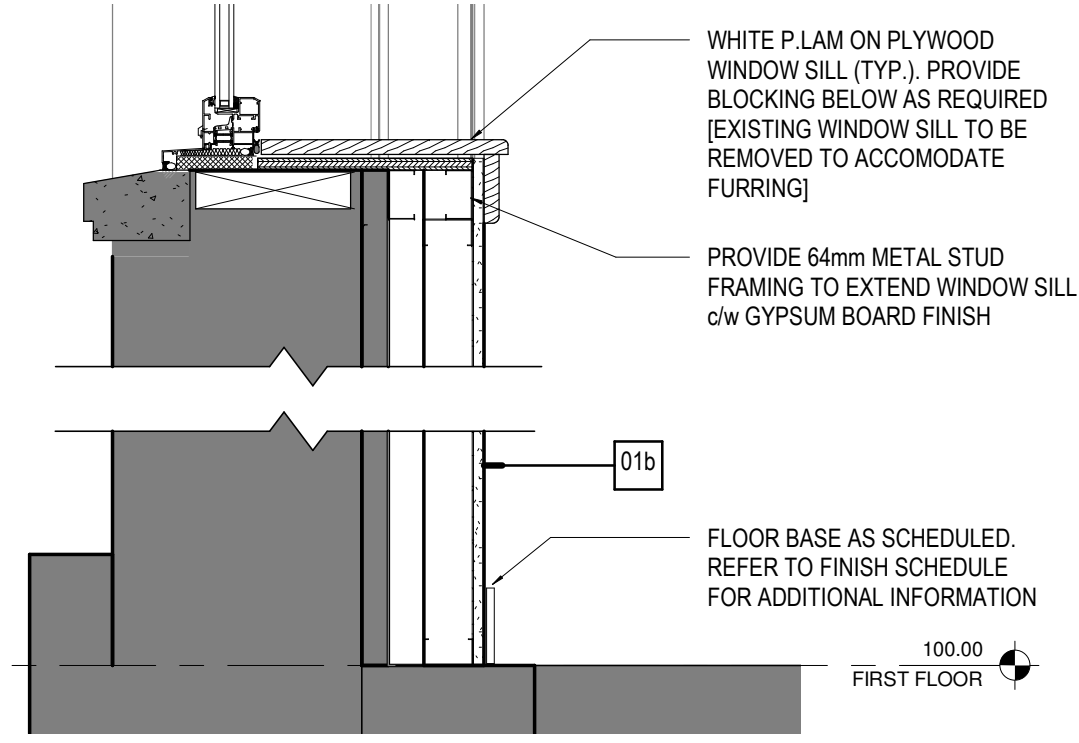
Échelle / Scale: As indicated

Date de création du dessin / Drawing creation date: 12/08/17

**A-121**



3 DTL-INFILL @ DEMOUNTABLE-PRTN  
A-122 1:10



2 SEC DTL @ WINDOW INFILL  
A-122 1:10

LEGEND - PAINT	
(P1)	FIELD BENJAMIN MOORE FROSTINE F-5 (OR APPROVED EQUIVALENT) WALL BASE: RUBBER TO MATCH EXISTING ADJACENT COLOUR AND PROFILE
(P7)	GYPSUM BOARD CEILINGS & BULKHEADS WHITE
LEGEND - FINISHES	
(VT1)	VINYL COMPOSITE TILE - FIELD 305mm x 305mm VINYL COMPOSITE TILE MANUFACTURER: ARMSTRONG STYLE: EXCELON IMPERIAL TEXTURE COLOUR: COOL WHITE 51889 WALL BASE: RUBBER TO MATCH EXISTING ADJACENT COLOUR AND PROFILE

LEGEND - CONSTRUCTION	
[Grey Box]	AREA NOT INCLUDED IN SCOPE OF WORK
[Dark Grey Box]	EXISTING WALL TO REMAIN
[White Box]	NEW PARTITION
[Line]	EXISTING DOOR TO REMAIN
[Line]	ALIGN DESIGNATED SURFACES
[Line]	INDICATES THE CLEAR DIMENSION REQUIRED BETWEEN FINISHED SURFACES
(FD)	EXISTING FLOOR DRAIN
WB-1	EXISTING WHITEBOARD TO REMAIN
WB-2	EXISTING WHITEBOARD TO REMAIN
TB	EXISTING TACKBOARD TO REMAIN

**GENERAL NOTES - CONSTRUCTION**

- UNLESS NOTED OTHERWISE, ALL NEW PARTITIONS TO MATCH EXISTING ADJACENT PARTITIONS.
- UNLESS NOTED OTHERWISE, NEW FLOOR AND BASEBOARD FINISHES TO MATCH EXISTING.
- SUPPLY AND INSTALL BLOCKING AND NAILERS FOR ALL PARTITIONS SUPPORTING MILLWORK, SHELVES, ETC.
- UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TAKEN FROM CENTRE OF WALL OR OPENING.
- COORDINATE DIMENSIONS OF OPENINGS WITH SPECIFICATIONS FOR EQUIPMENT SUPPLIED AND INSTALLED.
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- WATER-RESISTANT GYPSUM BOARD, 1220mm A.F.F. REQUIRED IN ALL LOCATIONS WITH EXPOSURE TO WATER OR HUMIDITY THIS INCLUDES, BUT IS NOT LIMITED TO, WASHROOMS, JANITOR ROOM, KITCHEN WALLS ABOVE MILLWORK CABINETS INCLUDING SINKS UP TO UNDERSIDE OF UPPER CABINETS.
- CAULK AND SEAL AT ALL MECHANICAL AND ELECTRICAL PENETRATIONS.
- DO NOT ALTER STRUCTURAL BUILDING ELEMENTS IN ANY WAY. ALL FINISH WORK TO BE PERFORMED AROUND EXISTING STRUCTURE.
- PROVIDE FIRE-STOPPING FOR ALL MECHANICAL AND ELECTRICAL PENETRATIONS THROUGH EXISTING AND NEW FR ASSEMBLIES - REFER TO A-001. INFILL ALL ABANDONED PENETRATIONS WITH FIRESTOPPING TO SUIT, AS REQUIRED.

No. / Date: 2 / 2021-06-30  
Émis pour / Object: BUILDING PERMIT / TENDER

Architecte / Paysagiste / Landscape Architect

Ingenieur / Engineer (Civil / Civil)

Ingenieur / Engineer (Mécanique & Électrique) / Mechanical & Electrical

Ingenieur / Engineer (Structure / Structure)

Client / Client

Architecte / Architect

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3550, Saint-Armande O.  
Montréal QC H4C 1A9  
T. 514 861-9122

fig. 2  
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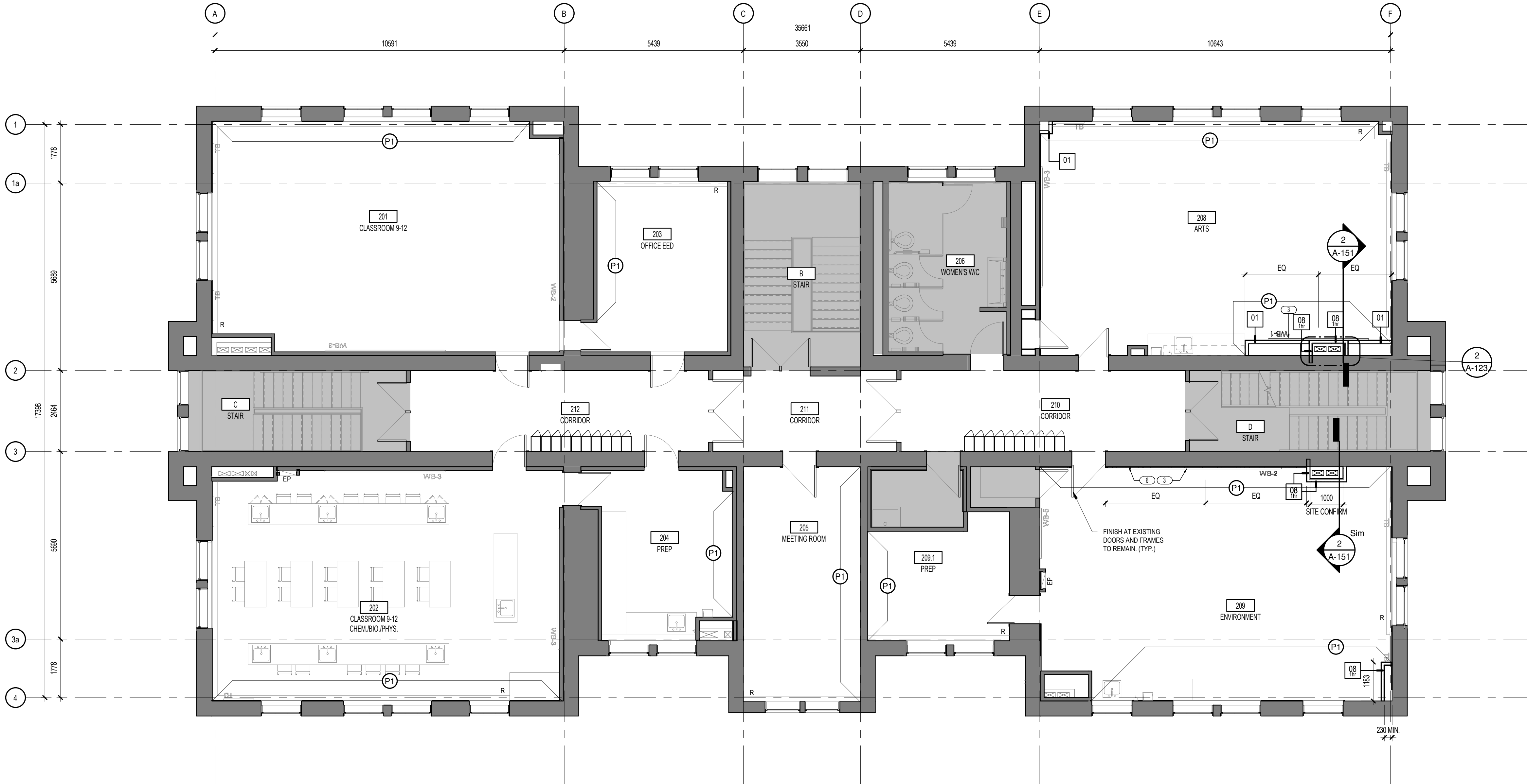
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Note:  
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Contractor shall verify all information and dimensions on site and immediately report any errors or omissions to the architect.



1 02-SECOND FLOOR PLAN-AC  
A-122 1:75

**EXISTING BUILDING TYPICAL NOTES:**

- VERIFY THE CONFORMITY OF ALL MECHANICAL, ELECTRICAL AND FIRE ALARM SYSTEMS, AND MODIFY THEIR DISTRIBUTION IN THE RENOVATED SPACES ACCORDINGLY.
- REFINISH EXISTING WALLS AROUND NEW OPENINGS AND PATCH ALL HOLES FOR CONDUITS OR CABLES. ENSURE THE CONTINUED INTEGRITY OF THE WALL.
- REFINISH ALL EXISTING WALLS IN AREAS WHERE ADJACENT WALLS OR FLOORS HAVE BEEN DEMOLISHED.
- ALL PARTITIONS THAT EXTEND FROM SLAB TO SLAB ARE TO BE ALIGNED WITH GEOMETRY OF THE SLABS IN ORDER TO ENSURE THAT THE ENTIRE PERIMETER IS APPROPRIATELY SEALED AS REQUIRED TO ATTAIN THE NECESSARY FIRE RESISTANCE RATING AND ACOUSTICAL PERFORMANCE.
- FILL ALL VOIDS AND JOINTS WITH ACOUSTIC INSULATION AND SEAL WITH ACOUSTIC SEALANT IN ALL ACOUSTIC PARTITIONS.
- COORDINATE OPENINGS IN PARTITIONS WITH MECHANICAL (SEE MECHANICAL DRAWINGS).
- PLYWOOD PANELS USED AS NAILING SURFACES IN ELECTRICAL ROOMS ARE TO BE FIRE-RESISTANT.

**GENERAL NOTES - FINISHES**

- WHERE REQUIRED, PREPARE THE FLOOR FOR INSTALLATION OF NEW FINISH
- PROVIDE APPROPRIATE TRIM ACCESSORIES AT TRANSITIONS BETWEEN FLOOR MATERIALS
- UNLESS OTHERWISE INDICATED, ALL WALLS TO BE PAINTED P1, AND ALL DOORS TO BE PAINTED P6
- ALL EXISTING AND NEW BULKHEADS TO BE PAINTED P7
- AT LOCATIONS WITH EXISTING DEMOUNTABLE PARTITIONS, CONTRACTOR TO PAINT PARTITIONS ONLY.

**SPECIFIC NOTES - CONSTRUCTION**

- REINSTALL EXISTING WHITEBOARD.
- PROVIDE 16 mm GYPSUM BOARD LAMINATED TO EXISTING WALL ASSEMBLY FULL LENGTH OF WALL. EXISTING WALL-MOUNTED ELECTRICAL EQUIPMENT TO BE TEMPORARILY REMOVED AND REINSTATED TO ACCOMMODATE INSTALLATION OF GB. COORD. w/ ELEC.

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Client / Client

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Drawn / Dessiné

Note:  
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Contractor shall verify all information and dimensions on site and immediately report any errors or omissions to the architect.

ADMINISTRATION BUILDING -  
É.S.P RIVIÈRE RIDEAU AIR  
CONDITIONING UPGRADE

830 Heritage Drive, Kemptville ON

Title / Titre

SECOND FLOOR PLAN

Dessiné par / Drawn by: MD, PC  
No. projet / Project number: 1745

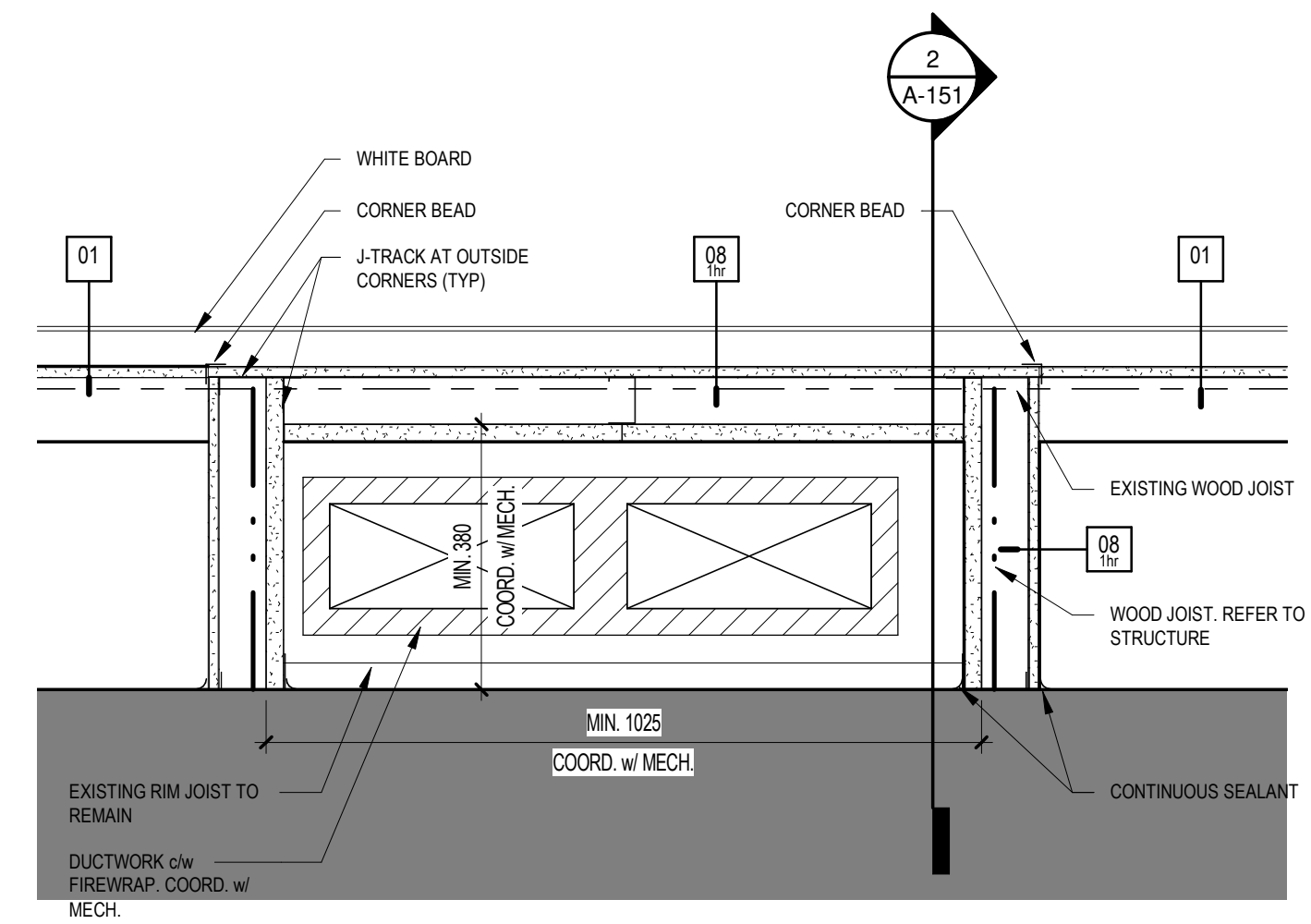
Vérifié par / Verified by: RC  
No. dessin / Drawing number: [blank]

Echelle / Scale: As indicated

Date de création du dessin / Drawing creation date: 12/08/17

2

A-122



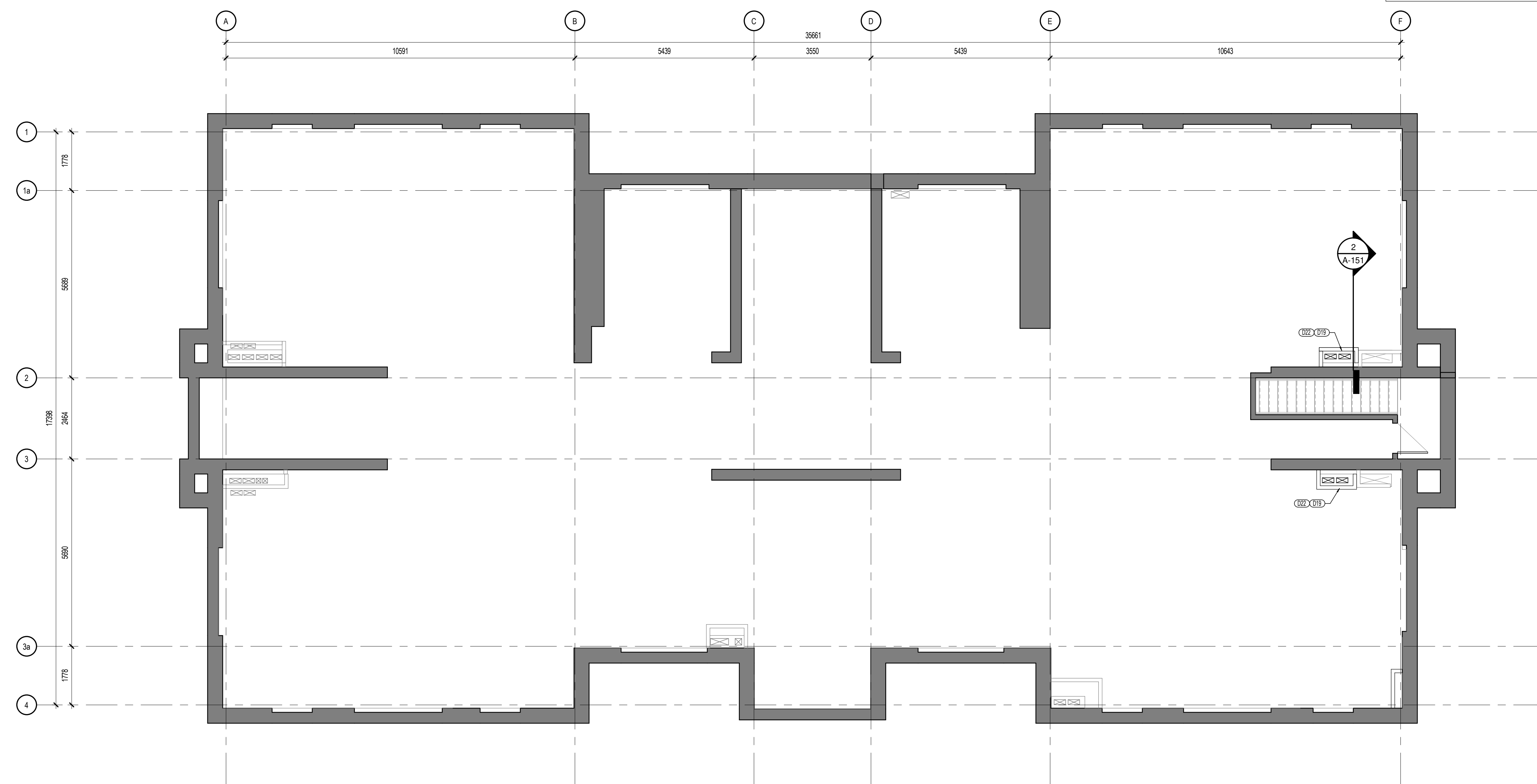
2 PLAN DETAIL AT MECH. SHAFT (TYP)  
A-123 1 : 10

LEGEND - CONSTRUCTION

- AREA NOT INCLUDED IN SCOPE OF WORK
- EXISTING WALL TO REMAIN
- NEW PARTITION
- EXISTING DOOR TO REMAIN.
- ALIGN DESIGNATED SURFACES
- INDICATES THE CLEAR DIMENSION REQUIRED BETWEEN FINISHED SURFACES
- EXISTING FLOOR DRAIN
- EXISTING WHITEBOARD TO REMAIN
- EXISTING WHITEBOARD TO REMAIN
- EXISTING TACKBOARD TO REMAIN

GENERAL NOTES - CONSTRUCTION

- UNLESS NOTED OTHERWISE, ALL NEW PARTITIONS TO MATCH EXISTING ADJACENT PARTITIONS.
  - UNLESS NOTED OTHERWISE, NEW FLOOR AND BASEBOARD FINISHES TO MATCH EXISTING.
  - SUPPLY AND INSTALL BLOCKING AND NAILERS FOR ALL PARTITIONS SUPPORTING MILLWORK, SHELVES, ETC.
  - UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TAKEN FROM CENTRE OF WALL OR OPENING.
  - COORDINATE DIMENSIONS OF OPENINGS WITH SPECIFICATIONS FOR EQUIPMENT SUPPLIED AND INSTALLED.
  - UNLESS NOTED OTHERWISE, ALL EQUIPMENT IS SUPPLIED AND INSTALLED BY GC. GC TO COORDINATE AND SUPPLY REQUIRED SERVICES FOR EQUIPMENT.
  - PROVIDE HOARDING, DUST SCREENS OR OTHER RETENTION DEVICES TO PROTECT EXISTING BUILDING ELEMENTS. CONTRACTOR TO PROTECT ALL AREAS OUTSIDE CONTRACT FROM DEBRIS AND DUST. ALL EXISTING WALLS DAMAGED BY WORK UNDER THIS CONTRACT TO BE PATCHED AND REPAIRED TO MATCH EXISTING ADJACENT SURFACE.
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  - CAULK AND SEAL AT ALL MECHANICAL AND ELECTRICAL PENETRATIONS.
  - DO NOT ALTER STRUCTURAL BUILDING ELEMENTS IN ANY WAY. ALL FINISH WORK TO BE PERFORMED AROUND EXISTING STRUCTURE.
  - PROVIDE FIRE-STOPPING FOR ALL MECHANICAL AND ELECTRICAL PENETRATIONS THROUGH EXISTING AND NEW FRR ASSEMBLIES - REFER TO A-001. INFILL ALL ABANDONED PENETRATIONS WITH FIRESTOPPING TO SUIT, AS REQUIRED.
- EXISTING BUILDING TYPICAL NOTES:**
- VERIFY THE CONFORMITY OF ALL MECHANICAL, ELECTRICAL AND FIRE ALARM SYSTEMS, AND MODIFY THEIR DISTRIBUTION IN THE RENOVATED SPACES ACCORDINGLY.
  - REFINISH EXISTING WALLS AROUND NEW OPENINGS AND PATCH ALL HOLES FOR CONDUITS OR CABLES. ENSURE THE CONTINUED INTEGRITY OF THE WALL.
  - REFINISH ALL EXISTING WALLS IN AREAS WHERE ADJACENT WALLS OR FLOORS HAVE BEEN DEMOLISHED.
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  - FILL ALL VOIDS AND JOINTS WITH ACOUSTIC INSULATION AND SEAL WITH ACOUSTIC SEALANT IN ALL ACOUSTIC PARTITIONS.
  - COORDINATE OPENINGS IN PARTITIONS WITH MECHANICAL (SEE MECHANICAL DRAWINGS).
  - PLYWOOD PANELS USED AS NAILING SURFACES IN ELECTRICAL ROOMS ARE TO BE FIRE-RESISTANT.



1 ATTIC PLAN-AC  
A-123 1 : 75

GENERAL NOTES - FINISHES

- WHERE REQUIRED, PREPARE THE FLOOR FOR INSTALLATION OF NEW FINISH
- PROVIDE APPROPRIATE TRIM ACCESSORIES AT TRANSITIONS BETWEEN FLOOR MATERIALS
- UNLESS OTHERWISE INDICATED, ALL WALLS TO BE PAINTED P1, AND ALL DOORS TO BE PAINTED P6
- ALL EXISTING AND NEW BULKHEADS TO BE PAINTED P7
- AT LOCATIONS WITH EXISTING DEMOUNTABLE PARTITIONS, CONTRACTOR TO PAINT PARTITIONS ONLY.

SPECIFIC NOTES - CONSTRUCTION

- D19 REMOVE EXISTING FLOOR FINISH, SUBFLOOR AND CEILING FINISH BELOW TO ACCOMMODATE MECH. SHAFT. MINIMUM CLEAR OPENING DIMENSIONS AND LOCATION SHOWN. REFER TO DETAILS. COORD. w/ MECH. REFER TO DSS FOR LOCALIZED ABATEMENT.
- D22 LOCALIZED ABATEMENT AND DEMOLITION AT FLOOR REQUIRED FOR MECH WORK. REFER TO DSS. COORD. w/ MECH.

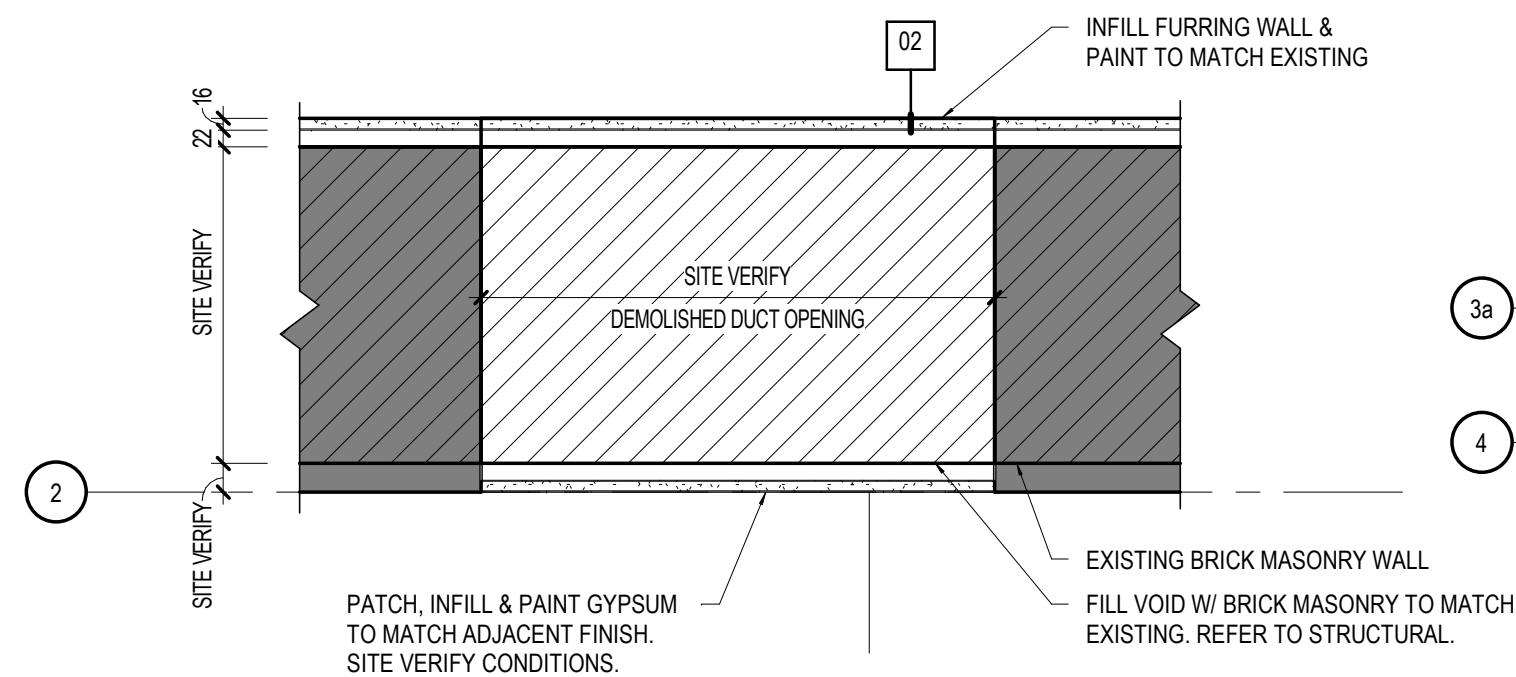
No. / Date / Émis pour / Object	
2 / 2021-06-30 / BUILDING PERMIT / TENDER	
Architecte / Paysagiste / Landscape Architect	
Ingénieur / Engineer (Civil / Civil)	
Ingénieur / Engineer (Mécanique & Électrique) / Mechanical & Electrical	
Ingénieur / Engineer (Structure / Structure) 	
Client / Client	
Architecte / Architect	
Fig. 1 3555, Saint-Armande O. Montréal QC H4C 1A9 T. 514 861-9122	
Fig. 2 190 Somerset St W #206 Ottawa ON K2P 0A4 T. 613 695-6122 www.figuri.ca	
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Dessin / Seal 	
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Projet / Project <b>ADMINISTRATION BLDG - É.S.P RIVIÈRE RIDEAU AIR CONDITIONING UPGRADE</b>	
830 Heritage Drive, Kemptville ON	
Titre / Title	
<b>ATTIC PLAN</b>	
Dessiné par / Drawn by	No. projet / Project number
MD	1745
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GB	
Échelle / Scale	Revision / Revision
As indicated	2
Date de création du dessin / Drawing creation date	
06/29/21	<b>A-123</b>



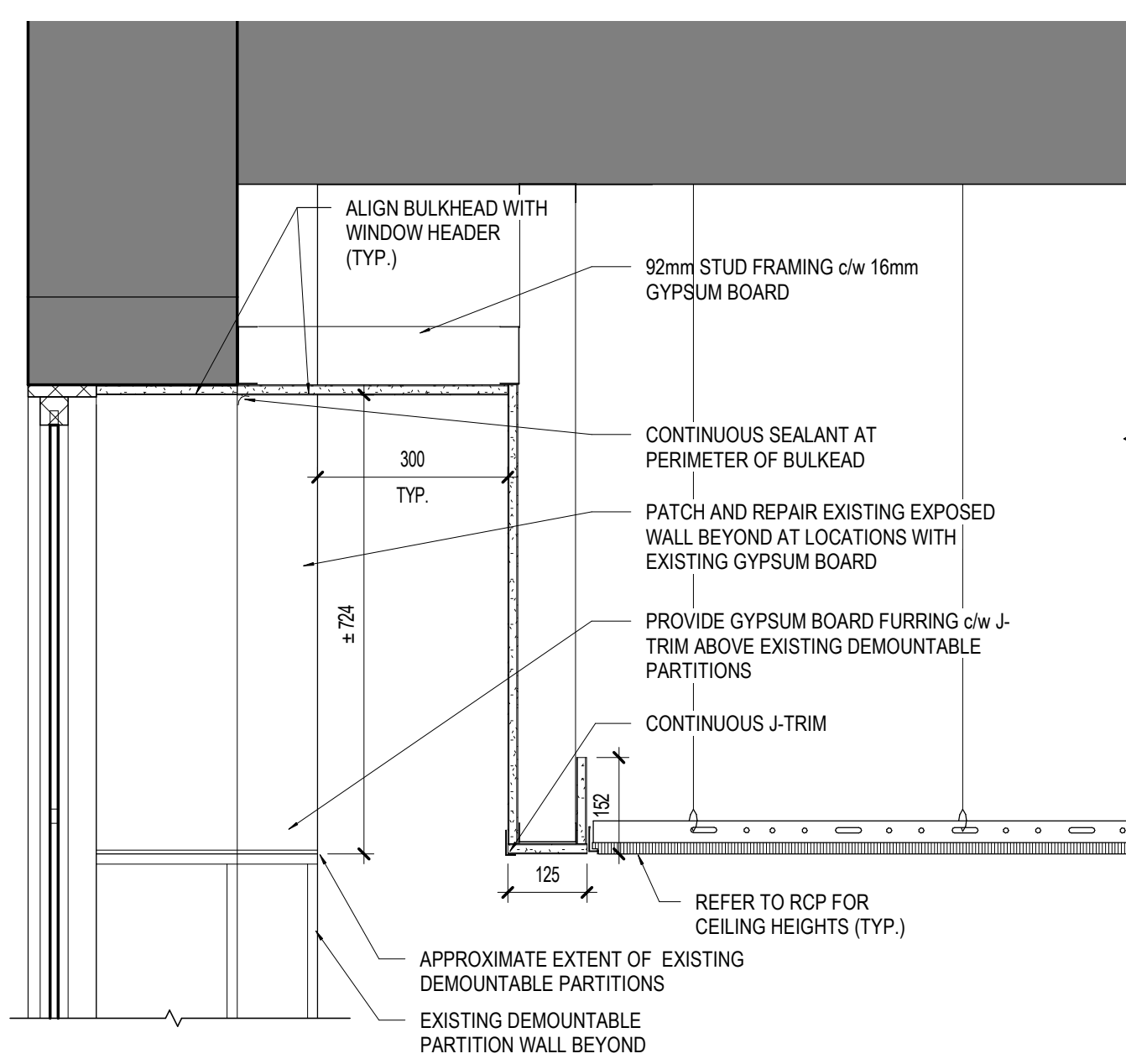
2 FIRST FLOOR REFLECTED CEILING PLAN-AC  
A-150 1 : 100



1 BASEMENT REFLECTED CEILING PLAN-AC  
A-150 1 : 100



4 PLAN DETAIL AT MASONRY INFILL - STAIR D  
A-150 1 : 10



3 TYPICAL BULKHEAD AT GLAZING  
A-150 1 : 10

GENERAL NOTES - RCP

- COORD. CEILING HEIGHTS WITH EXISTING.
- DIMENSIONS ARE FROM SURFACE OF ADJACENT WALL OR TO CENTER OF FIXTURE.
- REFER TO ELECTRICAL FOR LIGHTING SPECIFICATIONS.
- COORDINATE DIMENSIONS OF OPENINGS WITH SPECIFICATIONS FOR EQUIPMENT SUPPLIED.
- REPAIR SURFACES WHERE ELECTRICAL FIXTURES ARE REMOVED AND OR RELOCATED.
- ALL HORIZONTAL SHAFT CEILINGS TO BE INSTALLED ABUTTING EXISTING CEILING FINISH OR STRUCTURE.
- COORD. A.C.T. WITH MECH. DUCTWORK TO ENSURE MINIMUM CLEARANCES ARE PROVIDED FOR EQUIPMENT.
- WHERE CEILINGS ARE REMOVED TO ACCOMMODATE NEW WORK INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL WORK, REPAIR AND MAKE GOOD EXISTING CEILING AFTER REPLACE DAMAGED CEILING COMPONENTS WITH NEW MATCHING COMPONENTS.

SPECIFIC NOTES - RCP

- EXISTING A.C.T. GRID AND LIGHT FIXTURES TO BE REINTEGRATED. REPLACE DAMAGED COMPONENTS WITH MATCHING COMPONENTS
- A.C.T. AND GRID TO MATCH EXISTING. PATCH AND REPAIR ADJACENT WALL ASSEMBLIES AS REQUIRED TO MAKE GOOD.
- MASONRY INFILL AT LOCATION OF DUCTWORK REMOVAL. REFER TO STRUCTURE

TYPICAL CEILINGS

TYPICAL EXISTING CEILING TYPES:

GB-1 1HR FRR HORIZONTAL CEILING SYSTEM [SB-2 TABLE 2.3.12]

- EXISTING FLOOR & STRUCTURE TO REMAIN, REFER TO A-001
- METAL FURRING CHANNEL
- 2 LAYERS OF 16mm TYPE X GYPSUM BOARD (caulk and seal perimeters and joints with firestopping sealant)

ACT-1 TYPICAL ACOUSTIC CEILING TILE

- SUSPENSION HANGERS AND CARRIER CHANNELS AS REQ'D 610x1220
- SUSPENDED T-BAR CEILING GRID c/w FIBERGLASS LAY-IN ACOUSTICAL TILES

ACT-2 TYPICAL ACOUSTIC CEILING TILE BELOW 1HR FRR HORIZONTAL CEILING SYSTEM [SB-2 TABLE 2.3.12]

- EXISTING FLOOR & STRUCTURE TO REMAIN, REFER TO A-001
- METAL FURRING CHANNEL
- 2 LAYERS OF 16mm TYPE X GYPSUM BOARD (caulk and seal perimeters and joints with firestopping sealant)
- SUSPENSION HANGERS AND CARRIER CHANNELS AS REQ'D 610x1220
- SUSPENDED T-BAR CEILING GRID c/w FIBERGLASS LAY-IN ACOUSTICAL TILES

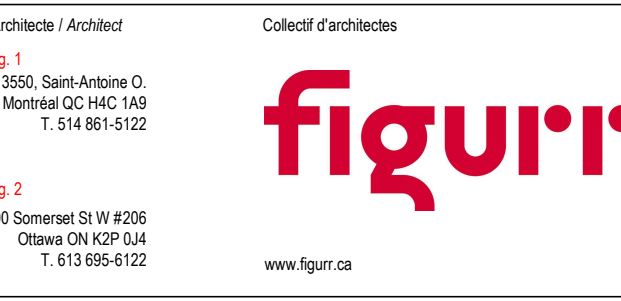
TYPICAL NEW BULKHEADS:

BH-1 TYPICAL BULKHEAD

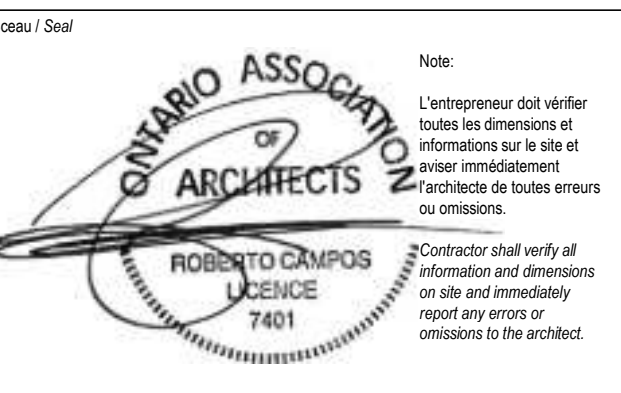
- 16mm GYPSUM BOARD
- 92mm METAL STUD
- 16mm GYPSUM BOARD

LEGEND - RCP

- AREA NOT INCLUDED IN SCOPE OF WORK
- EXISTING PARTITION TO REMAIN
- APPROXIMATE EXTENT OF A.C.T. REINSTATEMENT TO ACCOMMODATE INSTALLATION OF MECHANICAL PIPING. REPLACE DAMAGED COMPONENTS WITH NEW MATCHING COMPONENTS.
- ALI ALIGN DESIGNATED SURFACES
- CEN CENTRE PARTITION ON GRID LINE OR OTHER DESIGNATED ELEMENT
- DM CLEAR INDICATES THE CLEAR DIMENSION REQUIRED BETWEEN FINISHED SURFACES
- CEILING DIFFUSER
- 1x4' RECESSED INDIRECT
- 2x4' RECESSED INDIRECT
- 4' L WALL MOUNTED LED



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ADMINISTRATION BUILDING - É.S.P. RIVIÈRE RIDEAU AIR CONDITIONING UPGRADE

830 Heritage Drive, Kemptville ON

BASEMENT AND FIRST FLOOR CEILING PLAN

Dessiné par / Drawn by: MD, PC No. projet / Project number: 1745

Vérifié par / Verified by: RC No. dessin / Drawing number: As indicated

Date de création du dessin / Drawing creation date: 12/08/17

**GENERAL NOTES - RCP**

- COORD. CEILING HEIGHTS WITH EXISTING.
- DIMENSIONS ARE FROM SURFACE OF ADJACENT WALL OR TO CENTER OF FIXTURE.
- REFER TO ELECTRICAL FOR LIGHTING SPECIFICATIONS.
- COORDINATE DIMENSIONS OF OPENINGS WITH SPECIFICATIONS FOR EQUIPMENT SUPPLIED.
- REPAIR SURFACES WHERE ELECTRICAL FIXTURES ARE REMOVED AND OR RELOCATED.
- ALL HORIZONTAL SHAFT CEILINGS TO BE INSTALLED ABUTTING EXISTING CEILING FINISH OR STRUCTURE.
- COORD. A.C.T. WITH MECH. DUCTWORK TO ENSURE MINIMUM CLEARANCES ARE PROVIDED FOR EQUIPMENT.
- WHERE CEILINGS ARE REMOVED TO ACCOMMODATE NEW WORK INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL WORK, REPAIR AND MAKE GOOD EXISTING CEILING AFTER. REPLACE DAMAGED CEILING COMPONENTS WITH NEW MATCHING COMPONENTS.

**SPECIFIC NOTES - RCP**

1 EXISTING A.C.T. GRID AND LIGHT FIXTURES TO BE REINSTATED. REPLACE DAMAGED COMPONENTS WITH MATCHING COMPONENTS

**TYPICAL CEILINGS**

**TYPICAL EXISTING CEILING TYPES:**

**GB-1**  
1HR FRR HORIZONTAL CEILING SYSTEM (SB-2 TABLE 2.3.12)

- EXISTING FLOOR & STRUCTURE TO REMAIN. REFER TO A-001
- METAL FURRING CHANNEL
- 2 LAYERS OF 16mm TYPE X GYPSUM BOARD (caulk and seal perimeters and joints with firestopping sealant)

**ACT-1**  
TYPICAL ACOUSTIC CEILING TILE

- SUSPENSION HANGERS AND CARRIER CHANNELS AS REQ'D 610x1220
- SUSPENDED T-BAR CEILING GRID c/w FIBERGLASS LAY-IN ACOUSTICAL TILES

**ACT-2**  
TYPICAL ACOUSTIC CEILING TILE BELOW 1HR FRR HORIZONTAL CEILING SYSTEM (SB-2 TABLE 2.3.12)

- EXISTING FLOOR & STRUCTURE TO REMAIN. REFER TO A-001
- METAL FURRING CHANNEL
- 2 LAYERS OF 16mm TYPE X GYPSUM BOARD (caulk and seal perimeters and joints with firestopping sealant)
- SUSPENSION HANGERS AND CARRIER CHANNELS AS REQ'D 610x1220
- SUSPENDED T-BAR CEILING GRID c/w FIBERGLASS LAY-IN ACOUSTICAL TILES

**TYPICAL NEW BULKHEADS:**

**BH-1**  
TYPICAL BULKHEAD

- 16mm GYPSUM BOARD
- 92mm METAL STUD
- 16mm GYPSUM BOARD

**LEGEND - RCP**

- AREA NOT INCLUDED IN SCOPE OF WORK
- EXISTING PARTITION TO REMAIN
- APPROXIMATE EXTENT OF A.C.T. REINSTATEMENT TO ACCOMMODATE INSTALLATION OF MECHANICAL PIPING. REPLACE DAMAGED COMPONENTS WITH NEW MATCHING COMPONENTS.
- ALIGN DESIGNATED SURFACES
- CENTRE PARTITION ON GRID LINE OR OTHER DESIGNATED ELEMENT
- INDICATES THE CLEAR DIMENSION REQUIRED BETWEEN FINISHED SURFACES
- CEILING DIFFUSER
- 1'x4' RECESSED INDIRECT
- 2'x4' RECESSED INDIRECT
- 4' WALL MOUNTED LED

No. Date Émis pour / Object  
2 2021-06-30 BUILDING PERMIT / TENDER

Architecte / Architect  
Ingénieur / Engineer (Civil / Civil)

Ingénieur / Engineer (Mechanical & Electrical / Mechanical & Electrical)

Architecte / Architect  
Ingénieur / Engineer (Structure / Structure)

Client / Client

3550, Saint-Armande O.  
Montréal QC H3C 1A9  
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190 Somerset St W #206  
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02016

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Dessiné / Draft  
Note:  
L'entrepreneur doit vérifier toutes les dimensions et informations sur le site et faire immédiatement l'archivage de toutes erreurs ou omissions.

contractor shall verify all information and dimensions on site and immediately report any errors or omissions to the architect.

PROJET / PROJECT  
ADMINISTRATION BLDG - É.S.P. RIVIÈRE RIDEAU AIR CONDITIONING UPGRADE

830 Heritage Drive, Kemptville ON

Titre / Title  
SECOND FLOOR CEILING PLAN

Dessiné par / Drawn by  
MD, PC

No. projet / Project number  
1745

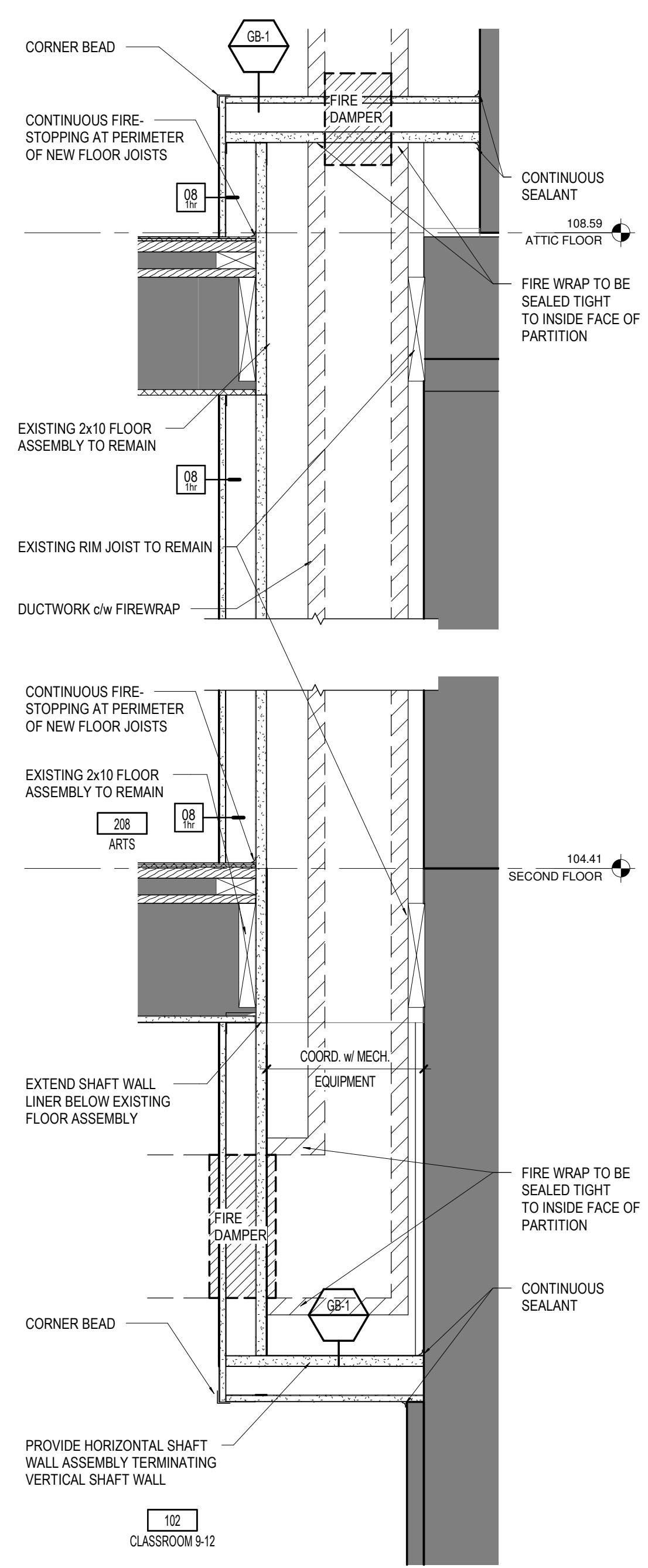
Vérifié par / Verified by  
RC

No. dessin / Drawing number  
Revision / Revision

Echelle / Scale  
As indicated

Date de création du dessin / Drawing creation date  
12/08/17

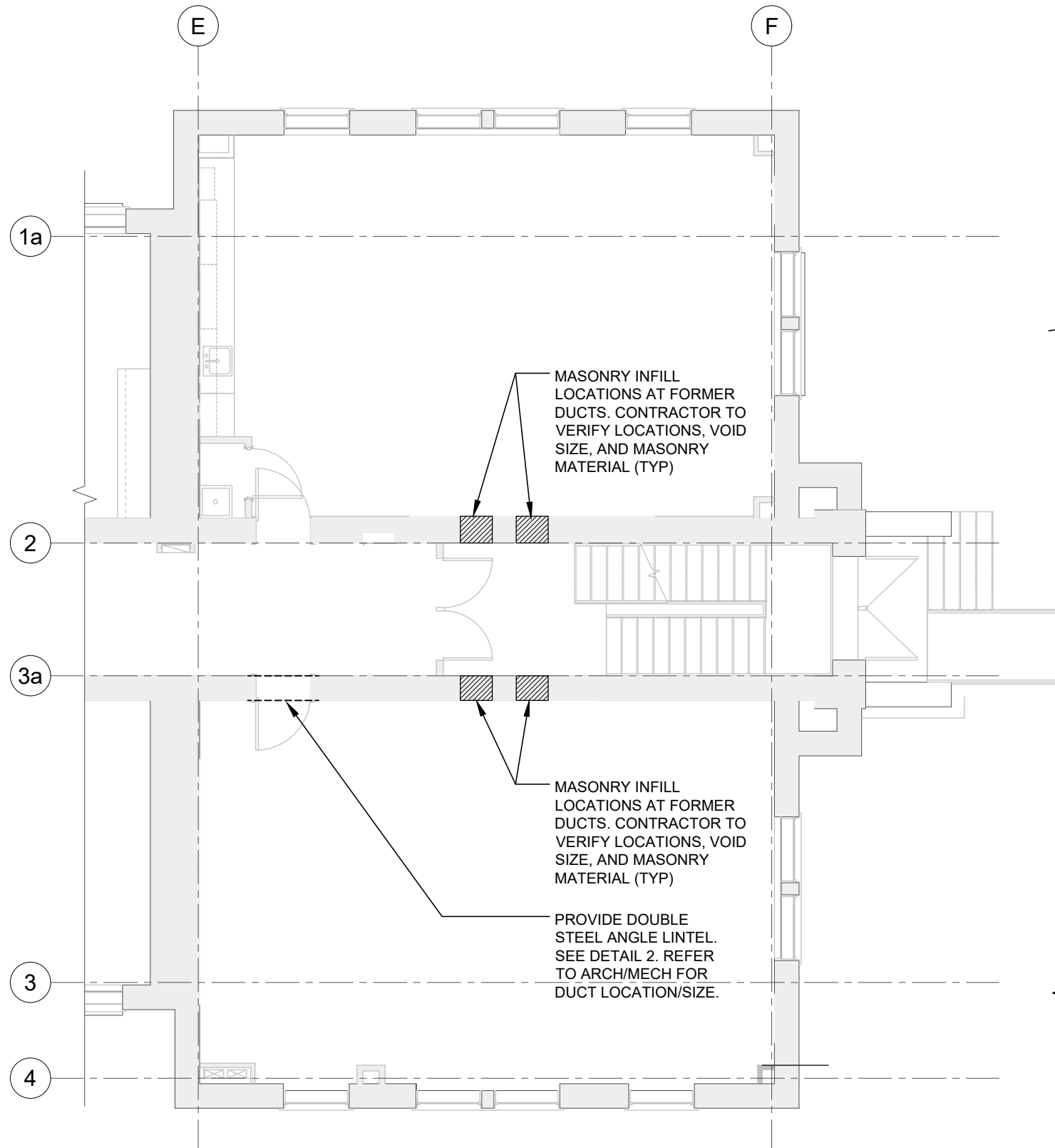
A-151



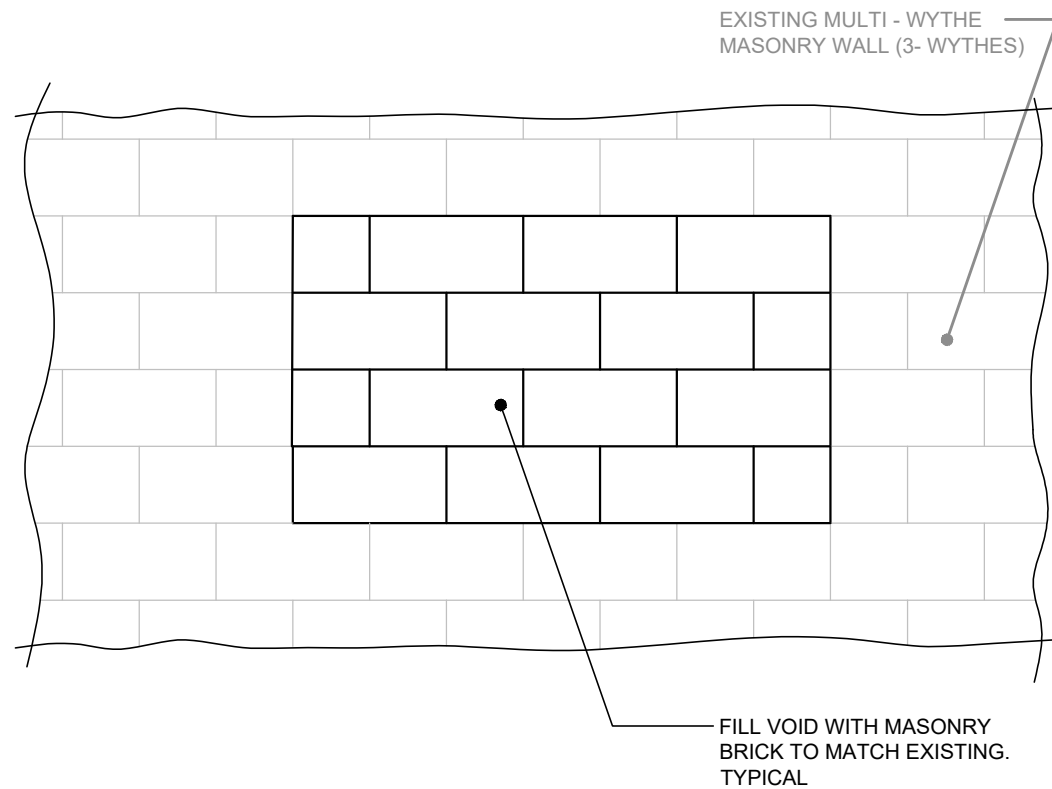
2 TYP. VERTICAL SHAFT WALL SECTION  
A-151 1:10



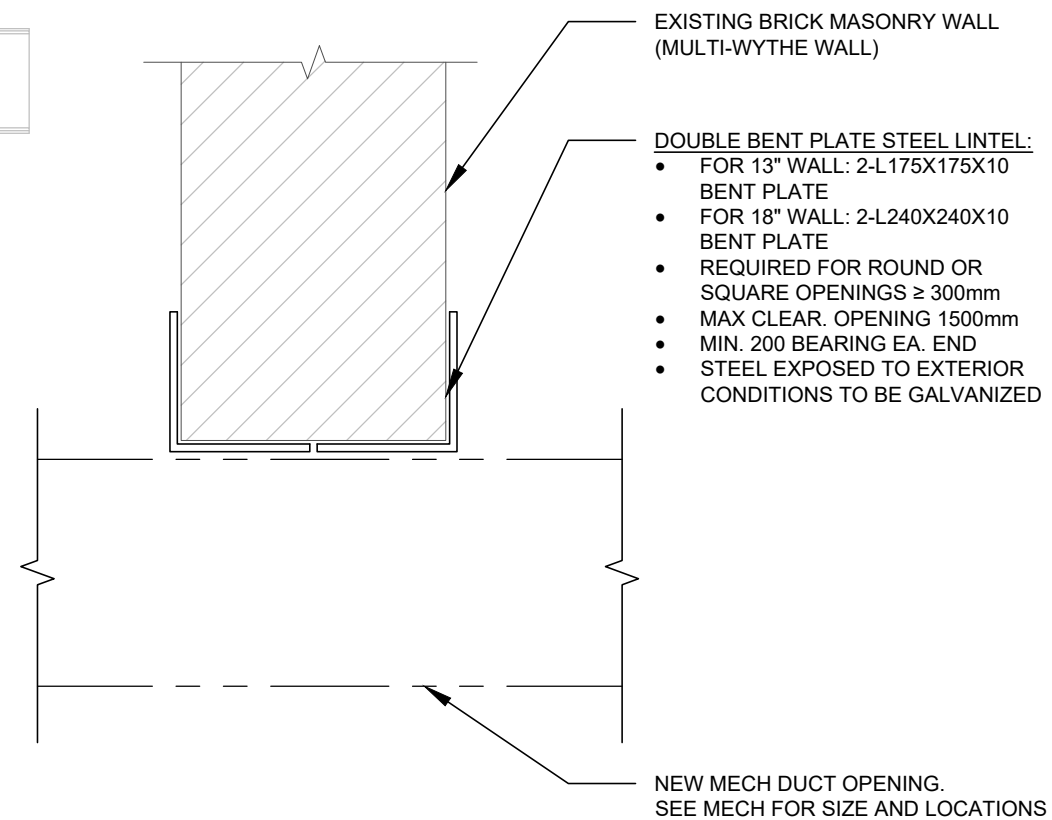
1 SECOND FLOOR NEW-AC  
A-151 1:100



**PARTIAL PLAN: GROUND FLOOR - STRUCTURAL WORK**  
SCALE: 1:100



**DETAIL 1: TYPICAL MASONRY INFILL DETAIL**  
SCALE: 1:20



**DETAIL 2: TYPICAL STEEL LINTEL DETAIL**  
SCALE: 1:10

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CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK. ANY DISCREPANCIES TO BE REPORTED TO STRUCTURAL ENGINEER.



No.	DATE	REVISIONS	BY
1	21/07/05	ISSUED FOR PERMIT/TENDER	WL



PROJECT  
**ADMINISTRATION BUILDING - É.S.P. RIVIÈRE-RIDEAU | AIR CONDITIONING UPGRADES**

DRAWING  
**GROUND FLOOR - STRUCTURAL WORK**

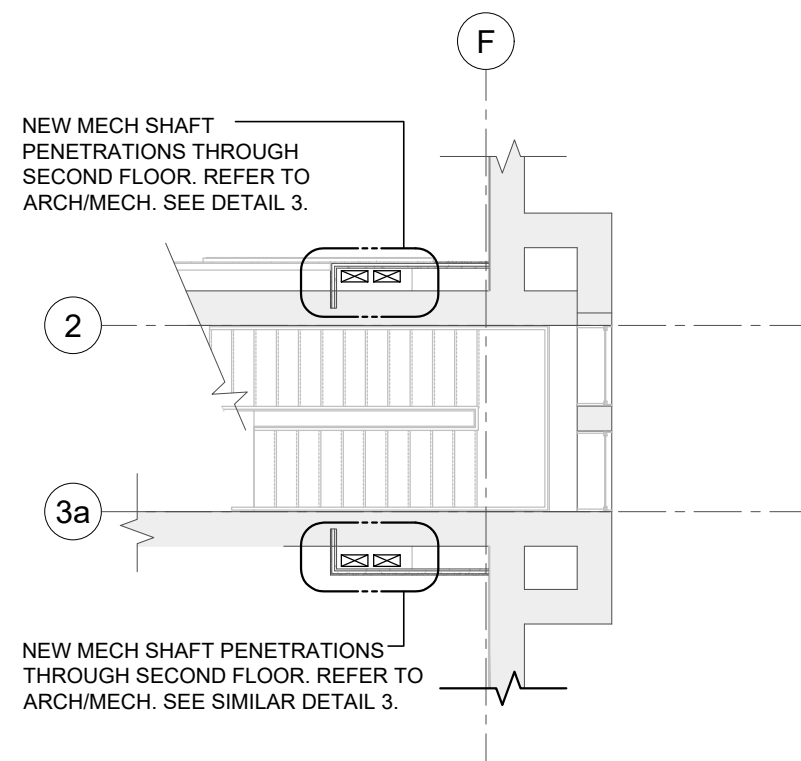
DRAWN: W.L.	DRAWING No.
DESIGNED: J.C.	<b>SSK1</b>
DATE: 21/06/24	
SCALE: AS NOTED	
PROJECT No: 17-0223B	

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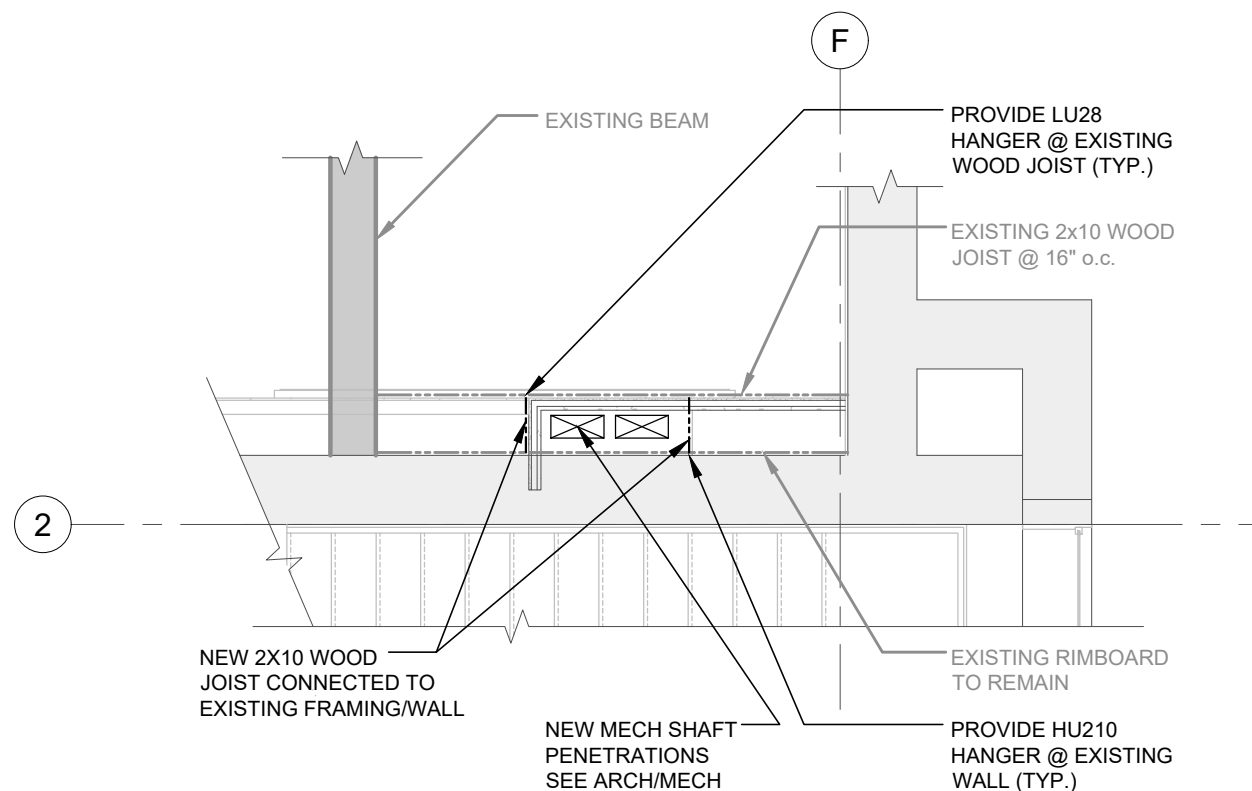
**NEW MECH PENETRATION NOTES:**

- LOCALLY REMOVE PLYWOOD SHEATHING/FLOOR TO SIZE OF NEW OPENING.
- REFER TO ARCH/MECH DRAWINGS FOR SIZE AND LOCATION OF OPENINGS.
- CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO COMMENCING WORK.
- CONTRACTOR TO ENSURE OPENINGS ARE BETWEEN EXISTING JOIST MEMBERS AT ALL LEVELS.
- DO NOT CUT EXISTING FRAMING MEMBERS.
- NEW WOOD MEMBERS TO BE MIN. SPF NO. 1/2 OR 2.0E LVL



**PARTIAL PLAN: SECOND FLOOR - STRUCTURAL WORK**

SCALE: 1:100



**DETAIL 3: TYPICAL FRAMING AT MECH SHAFT WORK**

SCALE: 1:50



No.	DATE	REVISIONS	BY
1	21/07/05	ISSUED FOR PERMIT/TENDER	WL



PROJECT  
**ADMINISTRATION BUILDING -  
 É.S.P. RIVIÈRE-RIDEAU | AIR  
 CONDITIONING UPGRADES**

DRAWING  
**SECOND FLOOR -  
 STRUCTURAL WORK**

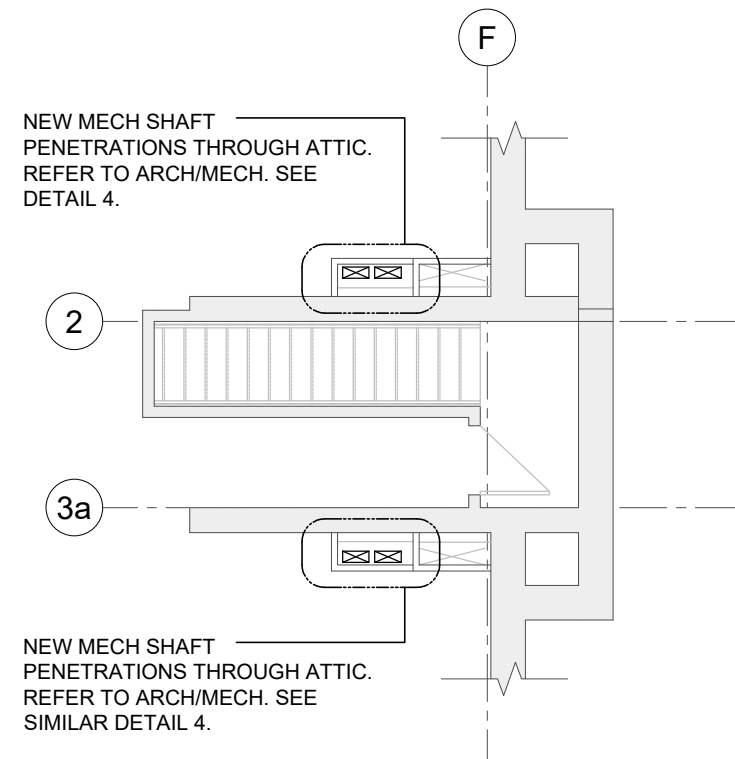
DRAWN:	W.L.	DRAWING No.  <b>SSK2</b>
DESIGNED:	J.C.	
DATE:	21/06/24	
SCALE:	AS NOTED	
PROJECT No:	17-0223B	

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CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK. ANY DISCREPANCIES TO BE REPORTED TO STRUCTURAL ENGINEER.

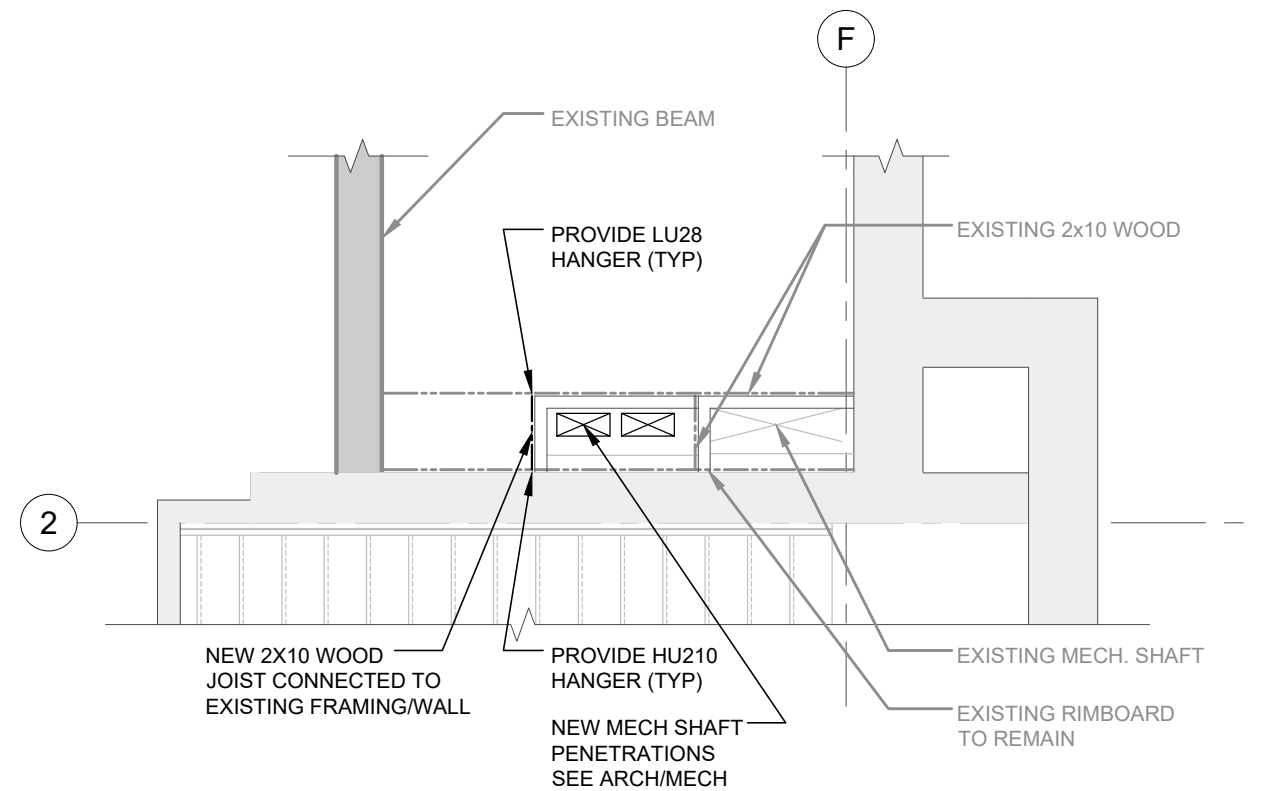
**NEW MECH PENETRATION NOTES:**

- LOCALLY REMOVE PLYWOOD SHEATHING/FLOOR TO SIZE OF NEW OPENING.
- REFER TO ARCH/MECH DRAWINGS FOR SIZE AND LOCATION OF OPENINGS.
- CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO COMMENCING WORK.
- CONTRACTOR TO ENSURE OPENINGS ARE BETWEEN EXISTING JOIST MEMBERS AT ALL LEVELS.
- DO NOT CUT EXISTING FRAMING MEMBERS.
- NEW WOOD MEMBERS TO BE MIN. SPF NO. 1/2 OR 2.0E LVL



**PARTIAL PLAN: ATTIC - STRUCTURAL WORK**

SCALE: 1:100



**DETAIL 4: TYPICAL FRAMING AT MECH SHAFT - ATTIC**

SCALE: 1:50



No.	DATE	REVISIONS	BY
1	21/07/05	ISSUED FOR PERMIT/TENDER	WL



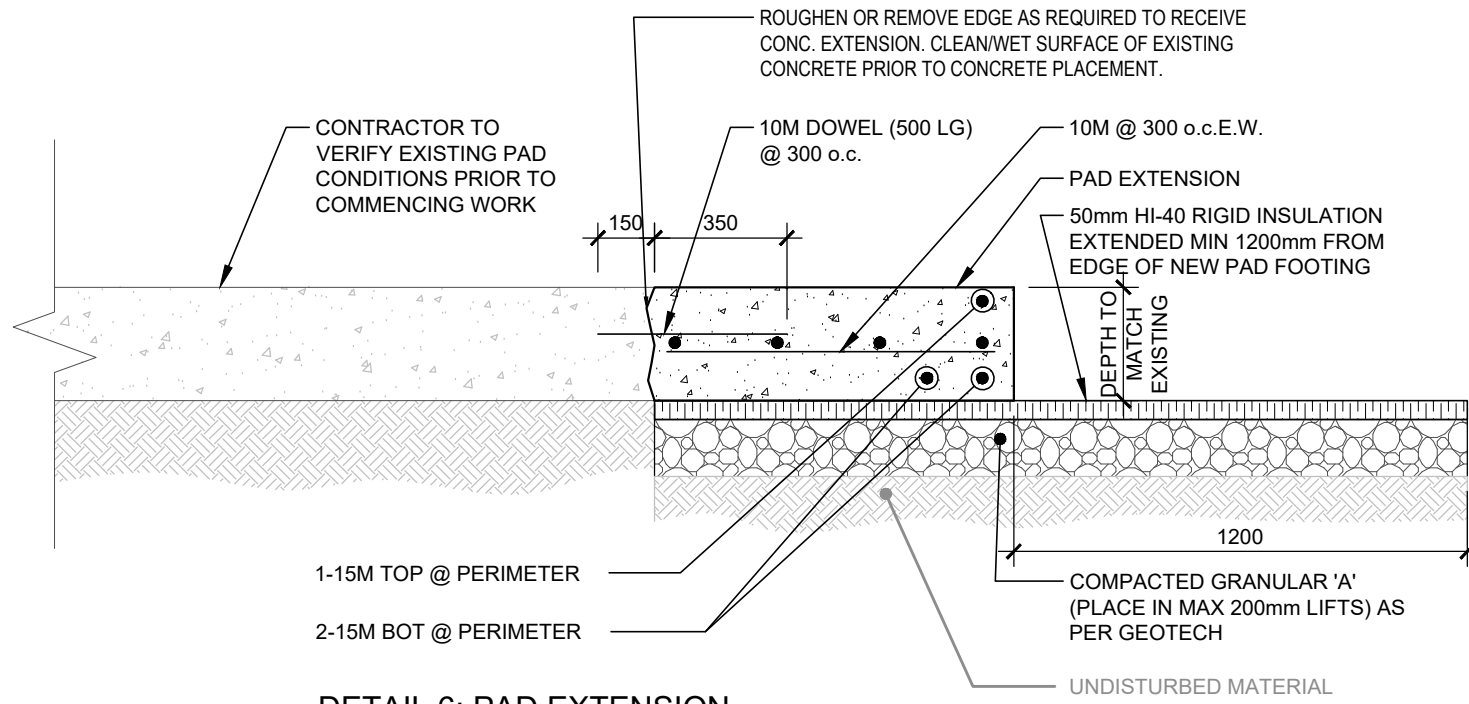
PROJECT  
**ADMINISTRATION BUILDING -  
 É.S.P. RIVIÈRE-RIDEAU | AIR  
 CONDITIONING UPGRADES**

DRAWING  
**ATTIC - STRUCTURAL  
 WORK**

DRAWN: W.L.	<b>SSK3</b>
DESIGNED: J.C.	
DATE: 21/06/24	
SCALE: AS NOTED	
PROJECT No: 17-0223B	

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CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK. ANY DISCREPANCIES TO BE REPORTED TO STRUCTURAL ENGINEER.

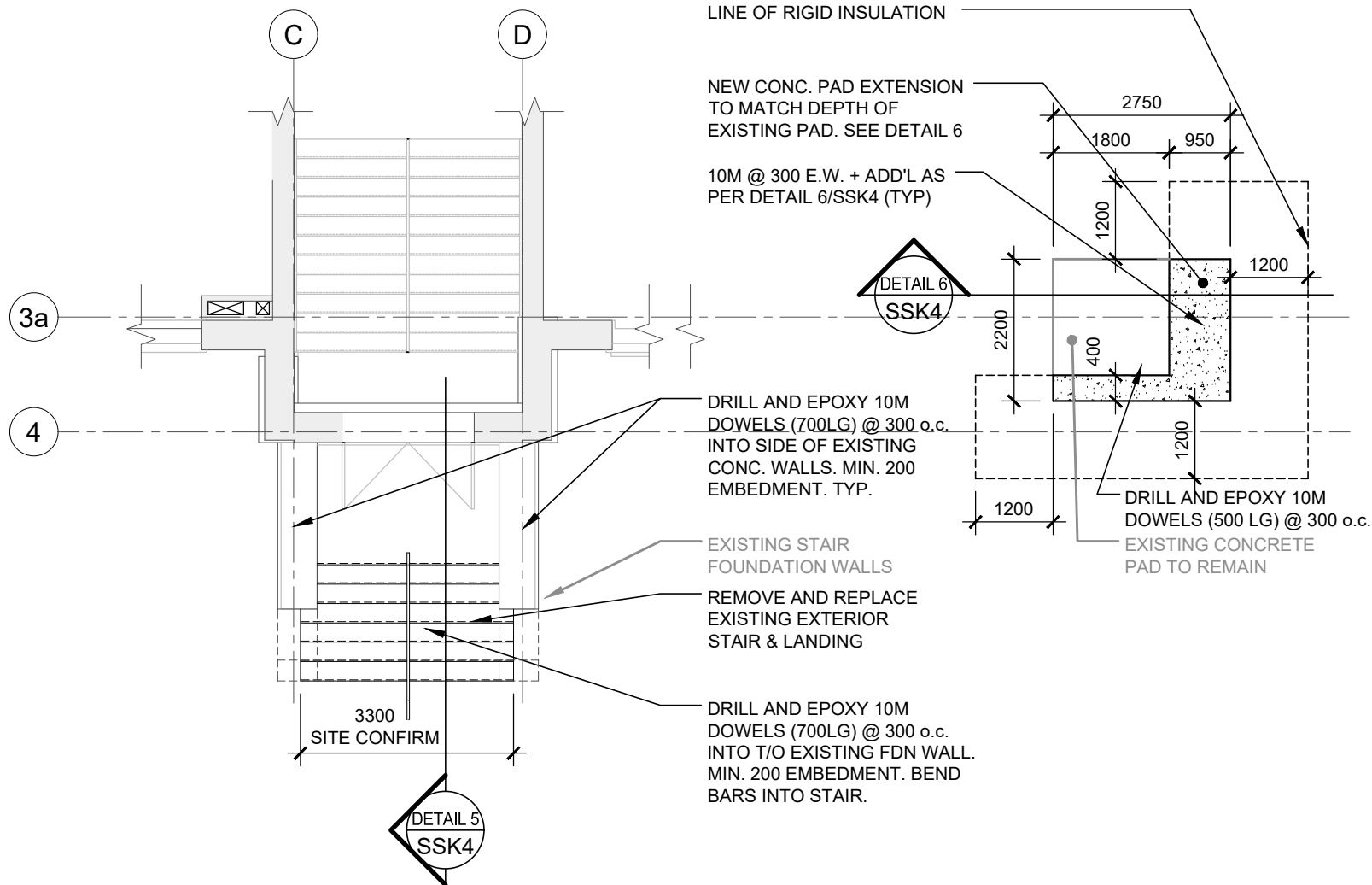


**DETAIL 6: PAD EXTENSION**

SCALE: 1:20

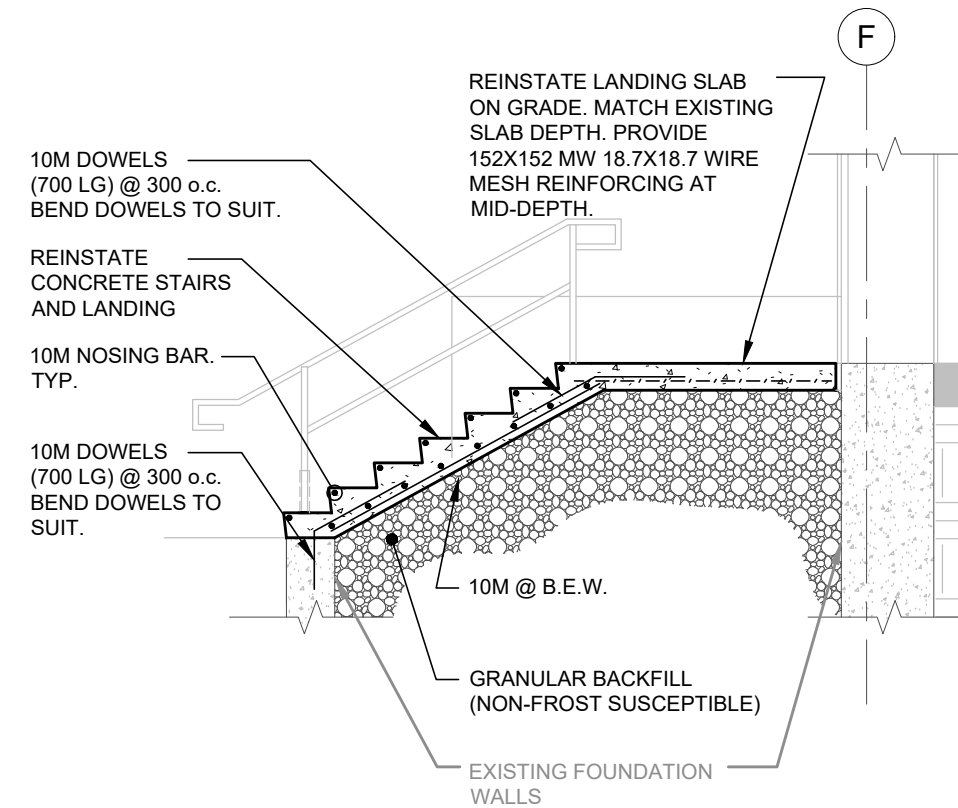
**EXTERIOR WORK/CONCRETE NOTES:**

- 28-DAY STRENGTH: MIN. 32 MPa
- EXPOSURE CLASS: C-2
- AIR ENTRAINMENT: 6-8%
- MAX AGGREGATE: 20mm
- MAX W/C RATIO: 0.45
- REFER TO ARCH FOR DIMENSION DETAILS.
- CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO COMMENCING WORK.
- REINSTATE GRANULAR BACKFILL (AS APPLICABLE) COMPACTED TO 98% SPMD



**PARTIAL PLAN: GROUND FLOOR - EXTERIOR WORK**

SCALE: 1:100



**DETAIL 5: EXTERIOR STAIR REPAIR**

SCALE: 1:50

No.	DATE	REVISIONS	BY
1	21/07/05	ISSUED FOR PERMIT/TENDER	WL



PROJECT  
**ADMINISTRATION BUILDING - É.S.P. RIVIÈRE-RIDEAU | AIR CONDITIONING UPGRADES**

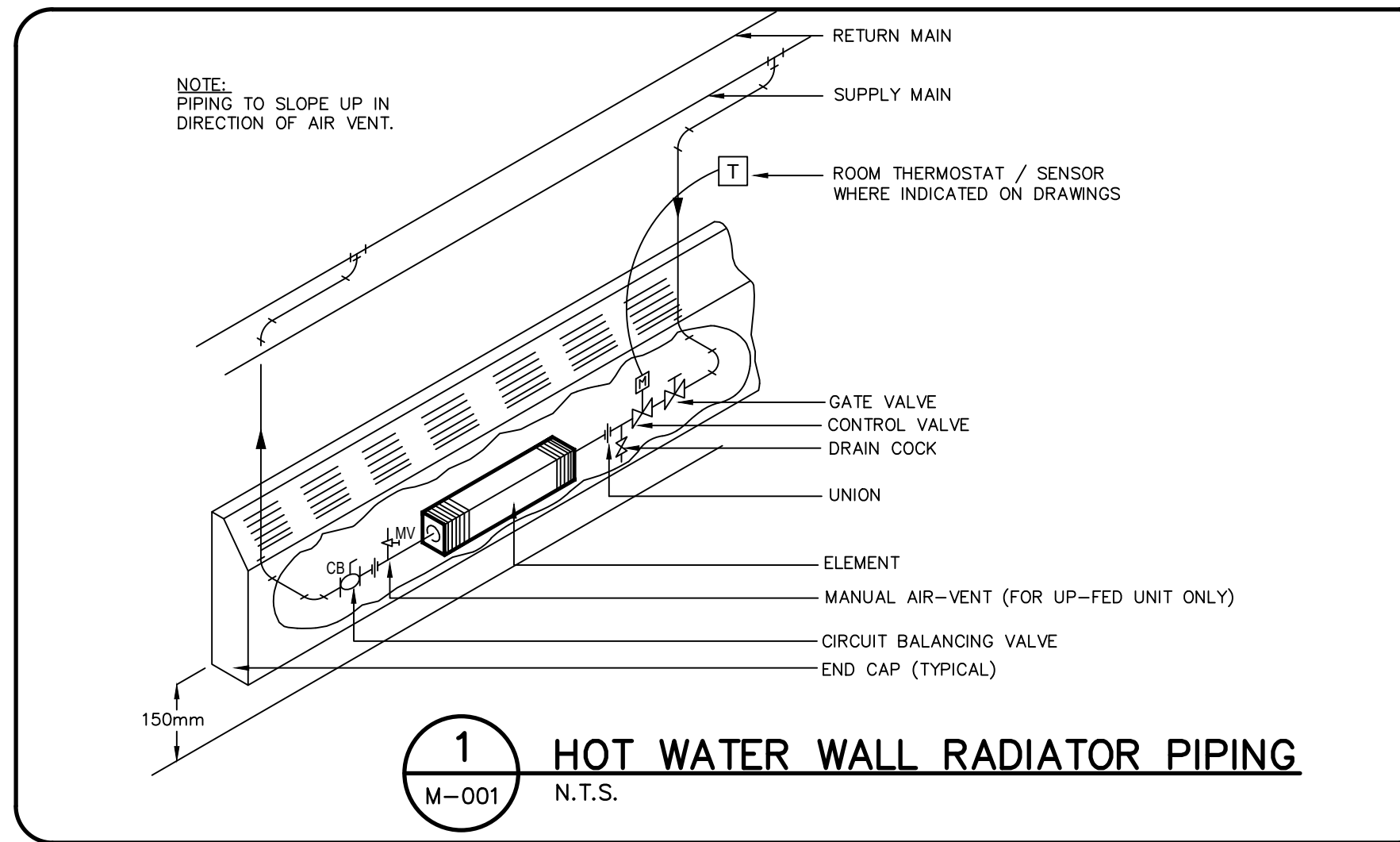
DRAWING  
**EXTERIOR WORK**

DRAWN: W.L.	DRAWING No.
DESIGNED: J.C.	<b>SSK4</b>
DATE: 21/06/24	
SCALE: AS NOTED	
PROJECT No: 17-0223B	

### ENERGY RECOVERY VENTILATOR SCHEDULE

STATUS	M	LOCATION	BASIS OF DESIGN		WINTER					SUMMER					ELECTRICAL		REMARKS
			MANUFACTURER	MODEL	FLOW (L/S)	ESP (PA)	INLET DB/WB (°C)	OUTLET DB/WB (°C)	EFFICIENCY (%)	FLOW (L/S)	ESP (PA)	INLET DB/WB (°C)	OUTLET DB/WB (°C)	EFFICIENCY (%)	AMPS	VOLT	
EXISTING	ERV-1	BASEMENT	ALDES	E650-RI	170	250	-27/-27.2	5.1 / 1	58.8	170	250	29 / 21	25.6 / 19.4	46.2	5.5	120/160	1
EXISTING	ERV-2	GROUND FLOOR	--	ERV-150	52	--	--	--	--	52	--	--	--	--	--	--	RELOCATED FROM BASEMENT
EXISTING	ERV-3	BASEMENT	ALDES	E650-RI	170	250	-27/-27.2	5.1 / 1	58.8	170	250	29 / 21	25.6 / 19.4	46.2	5.5	120/160	1
EXISTING	ERV-4	BASEMENT	ALDES	E650-RI	200	250	-27/-27.2	4.1 / 0.1	56.7	200	250	29 / 21	25.7 / 19.4	43.9	5.5	120/160	1
EXISTING	ERV-5	GROUND FLOOR	ALDES	E650-RI	170	250	-27/-27.2	5.1 / 1	58.8	170	250	29 / 21	25.6 / 19.4	46.2	5.5	120/160	1
EXISTING	ERV-6	SECOND FLOOR	ALDES	E650-RI	170	250	-27/-27.2	5.1 / 1	58.8	170	250	29 / 21	25.6 / 19.4	46.2	5.5	120/160	1
EXISTING	ERV-7	SECOND FLOOR	ALDES	E650-RI	170	250	-27/-27.2	5.1 / 1	58.8	170	250	29 / 21	25.6 / 19.4	46.2	5.5	120/160	1
EXISTING	ERV-8	SECOND FLOOR	ALDES	E650-RI	170	250	-27/-27.2	5.1 / 1	58.8	170	250	29 / 21	25.6 / 19.4	46.2	5.5	120/160	1
EXISTING	ERV-9	SECOND FLOOR	ALDES	E650-RI	170	250	-27/-27.2	5.1 / 1	58.8	170	250	29 / 21	25.6 / 19.4	46.2	5.5	120/160	1
NEW	ERV-10	GROUND FLOOR	ALDES	E650-RI	170	250	-27/-27.2	5.1 / 1	58.8	170	250	29 / 21	25.6 / 19.4	46.2	5.5	120/160	1
NEW	ERV-11	GROUND FLOOR	ALDES	E650-RI	170	250	-27/-27.2	5.1 / 1	58.8	170	250	29 / 21	25.6 / 19.4	46.2	5.5	120/160	1

1. STARTERS TO BE PROVIDED WITH ERVS BY MECHANICAL CONTRACTOR.



### DRAWING LIST

M-001	MECHANICAL - LEGENDS, DRAWING LIST & SCHEDULES
M-002	MECHANICAL - SCHEDULES
M-100	GROUND FLOOR - MECHANICAL DEMOLITION PLAN
M-300	BASEMENT FLOOR - HVAC, HYDRONICS AND PLUMBING NEW WORK
M-301	GROUND FLOOR - HVAC, HYDRONICS AND PLUMBING NEW WORK
M-302	SECOND FLOOR - HVAC AND PLUMBING NEW WORK
M-303	ATTIC FLOOR - HVAC NEW WORK

### SYMBOLS

SYMBOL	DESCRIPTION
ERV-XX	ENERGY RECOVERY VENTILATOR
RP-XX	RADIANT PANEL
RAD-XX	RADIATOR
DIFFUSER TYPE	DIFFUSER TYPE
FLOW (L/S)	FLOW (L/S)
DETAIL	DETAIL
LOCATION OF DETAIL	LOCATION OF DETAIL

### H.V.A.C.

SYMBOL	DESCRIPTION
[Symbol]	EXISTING DUCT
[Symbol]	SUPPLY AIR DUCT
[Symbol]	RETURN OR EXHAUST AIR DUCT
[Symbol]	THERMALLY INSULATED DUCT
[Symbol]	FLEXIBLE DUCT CONNECTION
[Symbol]	BALANCING DAMPER
[Symbol]	DUCT BRANCH (TAKE-OFF) WITH DAMPER
[Symbol]	BACK DRAFT DAMPER
[Symbol]	MOTORIZED DAMPER
[Symbol]	FIRE DAMPER
[Symbol]	THERMOSTAT / SENSOR
[Symbol]	DOOR GRILLE
[Symbol]	SUPPLY DIFFUSER
[Symbol]	ROUND SUPPLY DIFFUSER
[Symbol]	RETURN GRILLE
[Symbol]	EXHAUST AIR FLOW
[Symbol]	RETURN AIR FLOW
[Symbol]	SUPPLY AIR FLOW
[Symbol]	BREAK LINE

### HEATING COIL SCHEDULE

STATUS	TAG	QTY.	MAKE	MODEL	CAPACITY (KW)	AIR SIDE					WATER SIDE				REMARKS
						FLOW (L/S)	E.A.T. (°C)	L.A.T. (°C)	PRESSURE DROP (PA)	FACE VELOCITY (M/S)	TYPE	FLOW (L/S)	PRESSURE DROP (KPA)	E.F.T. (°C)	
EXISTING	HC-1	1	LUVATA	SBS1202B 6.00 X 8.00	1.15	52	4.4	22	27	1.88	50% PROPYLENE GLYCOL	0.02	0.58	60	46
NEW	HC-2	2	LUVATA	SBS0902B 9.00 X 12.00	3.70	170	4.4	22	37.4	2.44	50% PROPYLENE GLYCOL	0.07	1.85	60	46
EXISTING	HC-3	1	LUVATA	SBS0802B 12.00 X 12.00	4.45	200	4.4	22	27	2.13	50% PROPYLENE GLYCOL	0.08	3.14	60	46

### GRILLE AND DIFFUSER SCHEDULE

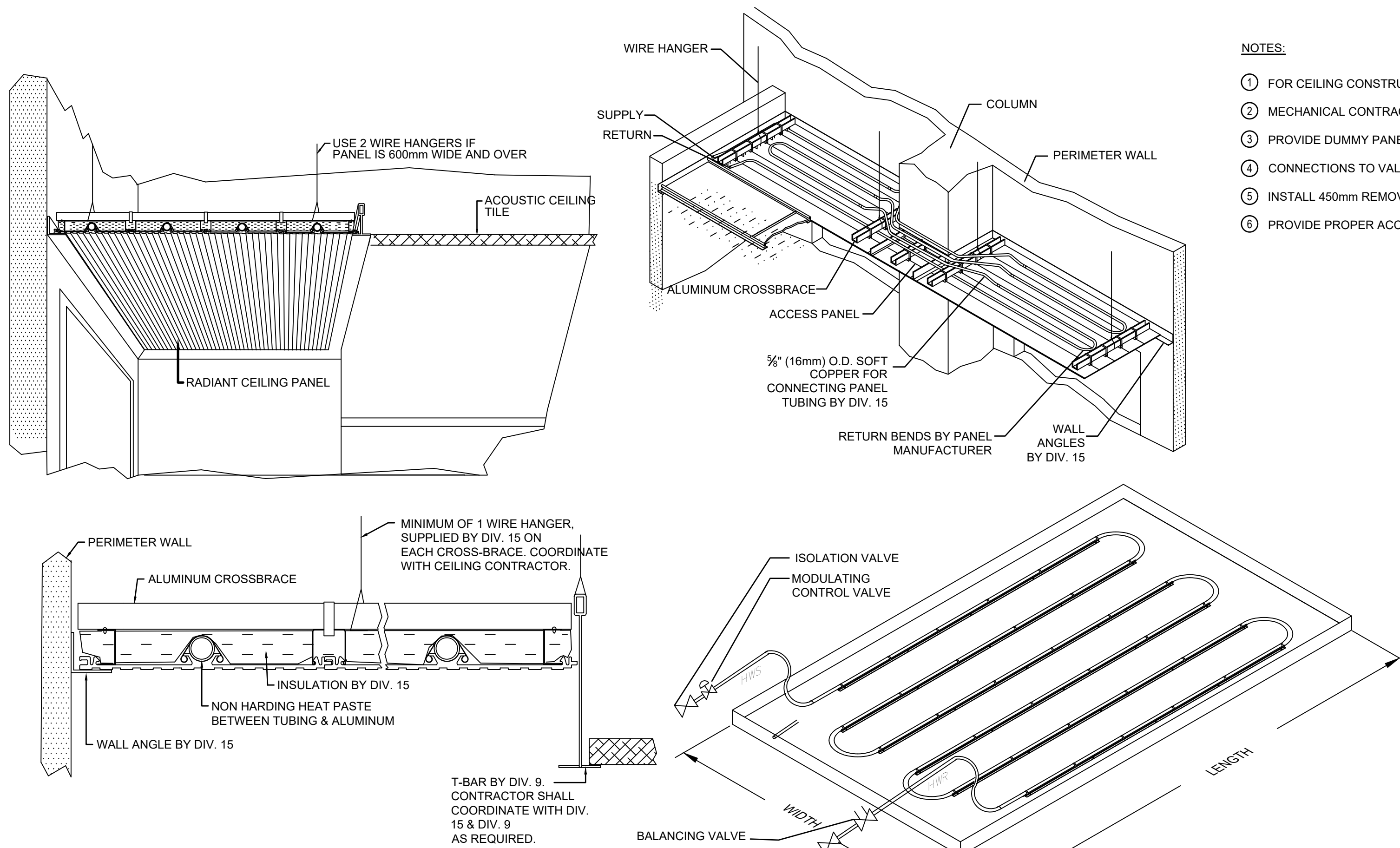
STATUS	TYPE	FUNCTION	DIRECTION	MODULE SIZE	NECK SIZE	COLOR	BALANCING DAMPER	MANUFACTURER	MODEL
EXISTING	EX	SUPPLY SQUARE DIFFUSER	4-WAY	610mm X 610mm	150mmØ	WHITE	NO	NAILOR	RNS
NEW	SA-2	SUPPLY SQUARE DIFFUSER	4-WAY	305mm X 305mm	100mmØ	WHITE	NO	NAILOR	RNS
NEW	RA-1	RETURN EGGRATE GRILLE	--	610mm X 305mm	--	WHITE	NO	NAILOR	51EC
NEW	RA-2	RETURN EGGRATE GRILLE	--	200mm X 200mm	--	WHITE	NO	NAILOR	51EC

### GENERAL NOTES:

- EXCEPT AS NOTED OTHERWISE, ALL EXISTING EQUIPMENT TO BE DEMOLISHED IS SHOWN IN THICK DASHED LINES.
- EXCEPT AS NOTED OTHERWISE ALL EXISTING EQUIPMENT TO BE RELOCATED IS SHOWN IN THICK DASHED LINES AND IS MARKED WITH THE LETTER "R" AND AN ARROW.
- EXCEPT AS NOTED OTHERWISE, ALL EXISTING EQUIPMENT TO REMAIN IS SHOWN IN THIN SOLID LINES.
- EXCEPT AS NOTED OTHERWISE, ALL NEW EQUIPMENT IS SHOWN IN THIN SOLID LINES.
- ALL EQUIPMENT MANUFACTURERS LISTED REPRESENTS THE DESIGN BASIS ONLY AND ARE NOT THE ONLY ACCEPTABLE PRODUCTS. ALTERNATIVE AND EQUIVALENT PRODUCTS ARE ACCEPTABLE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS.
- THE LAYOUT OF THE DUCTWORK AND SUPPLY DIFFUSERS/GRILLES ARE SHOWN AS A GENERAL INTENT OF THE DESIGN. EXACT LAYOUT TO BE COORDINATED DURING DESIGN.
- ALL CORNER RADIUS AND ELBOWS FOR DUCTWORK TO MEET THE SMACNA STANDARDS.
- CRISS CROSSING OF DUCTS TO BE AVOIDED IF SPACE IS NOT A CONCERN ABOVE THE FALSE CEILING.
- ALL DUCT PENETRATIONS THROUGH FIRE RATED WALLS TO BE COMPLETE WITH FIRE DAMPER. FIRE RATINGS OF THE DAMPER TO MATCH THE FIRE RATING OF THE WALL.
- ALL DRYWALL CEILING TO HAVE ACCESSIBLE ACCESS HATCH TO SERVICE THE MECHANICAL EQUIPMENT.
- MAINTAIN MINIMUM OF 10' (FEET) DISTANCE BETWEEN ALL FRESH AIR INTAKES AND EXHAUST AIR DISCHARGE.
- FLEXIBLE DUCTS (NOT SHOWN) SHOULD NOT EXCEED THE MAXIMUM LENGTH OF 5' (FEET).
- EACH SUPPLY DUCT CONNECTION TO THE DIFFUSER TO BE EQUIPPED WITH VOLUME CONTROL DAMPER.
- ALL MECHANICAL EQUIPMENT TO BE EQUIPPED WITH ANTI-VIBRATION AND SEISMIC SUPPORTS.
- ALL MECHANICAL EQUIPMENT SUPPORTS TO BE INSTALLED AS PER SMACNA STANDARDS AND ASHRAE DESIGN GUIDELINES.
- PROVIDE FLEX DUCT CONNECTORS TO ALL ERV UNITS.
- ALL DUCT PENETRATIONS THROUGH EXTERIOR WALLS HAVE TO BE WEATHER SEALED.
- ALL EXTERIOR EXHAUST LOUVERS TO BE INSTALLED AT HIGH LEVEL CLEAR OF DOORS AND WINDOWS.
- GLYCOL HEATING AND REFRIGERANT PIPES SHOULD NOT BLOCK ACCESS TO SERVICE THE EQUIPMENTS.
- CONTROL VALVES TO BE INSTALLED AT A LOCATION EASILY ACCESSIBLE BY THE MAINTENANCE STAFF.
- PROVIDE PIPE REDUCERS, UNIONS, ETC BEFORE THE EQUIPMENT CONNECTION LOCATIONS.
- GLYCOL HEATING AND REFRIGERANT PIPING PASSING THROUGH FIRE SEPARATION TO BE FIRE SEALED AS PER OBC AND NFPA STANDARDS.
- ALL DEMOLITION SHALL BE INCLUSIVE OF ALL SUPPORTS, HANGERS, BASES, ELECTRICAL CONNECTIONS, VALVES, INSULATION, CONTROL AND OTHER SIMILAR ACCESSORIES FOR A COMPLETE AND CLEAN REMOVAL WHERE EXISTING BUILDING FINISHES, WHICH ARE IMPACTED BY DEMOLITION, ARE TO REMAIN. COORDINATE WITH GENERAL CONTRACTOR TO PATCH/REFINISH.
- BUILDING MAY CONTAIN DESIGNATED SUBSTANCES WHICH REQUIRE SPECIALIZED REMOVAL. REFER TO DSSR AND COORDINATE WITH GENERAL CONTRACTOR.

### PLUMBING

SYMBOL	DESCRIPTION
[Symbol]	DOM COLD WATER PIPING (DCW)
[Symbol]	DOM HOT WATER PIPING (DHW)
[Symbol]	DOM HOT WATER RECIRC PIPING (DHW)
[Symbol]	BELOW FLOOR SANITARY PIPING
[Symbol]	SANITARY PIPING
[Symbol]	FLOOR DRAIN
[Symbol]	FUNNEL FLOOR DRAIN
[Symbol]	CLEAN OUT
[Symbol]	HEATING WATER SUPPLY
[Symbol]	HEATING WATER RETURN
[Symbol]	HEATING GLYCOL SUPPLY
[Symbol]	HEATING GLYCOL RETURN
[Symbol]	REFRIGERANT LIQUID
[Symbol]	REFRIGERANT SUCTION
[Symbol]	PIPE DOWN/UP
[Symbol]	PIPE CAP
[Symbol]	GATE VALVE
[Symbol]	CHECK VALVE
[Symbol]	IN LINE PUMP
[Symbol]	PLUG VALVE
[Symbol]	REDUCER
[Symbol]	UNION
[Symbol]	GLOBE VALVE
[Symbol]	PRESSURE GAUGE
[Symbol]	THERMOMETER
[Symbol]	AIR VENT
[Symbol]	PRESSURE RELIEF
[Symbol]	CIRCUIT BALANCING VALVE
[Symbol]	STRAINER
[Symbol]	2-WAY CONTROL VALVE - ELECTRIC
[Symbol]	3-WAY CONTROL VALVE - ELECTRIC
[Symbol]	SAFETY RELIEF VALVE
[Symbol]	AUTOMATIC AIR VENT WITH BALL VALVE
[Symbol]	EMERGENCY GAS SHUT OFF SWITCH



### NOTES:

- FOR CEILING CONSTRUCTION, REFER TO ARCHITECTURAL DRAWINGS.
- MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL REQUIREMENTS NOTED FOR INSTALLATION OF PANELS.
- PROVIDE DUMMY PANEL, FIELD NOTCH AND MITRED CORNER TO SUIT THE ARCHITECTURAL LAYOUT.
- CONNECTIONS TO VALVES SHALL BE INSTALLED ABOVE THE ACTIVE PANEL. ALLOW ADEQUATE SPACE FOR ENTRY THROUGH THE ACCESS PANEL.
- INSTALL 450mm REMOVABLE ACCESS DOOR SUPPLIED BY THE PANEL MANUFACTURER.
- PROVIDE PROPER ACCESS TO SUPPLY, RETURN AND INTERCONNECTION BETWEEN PANELS.

### 3 TYPICAL CONNECTIONS TO WATER COILS

M001 N.T.S.

### 2 TYPICAL CONNECTIONS TO RADIANT PANELS

M001 N.T.S.

	OWNER: Conseil des écoles publiques de l'Est de l'Ontario	DISCLAIMER: THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION BY WSP. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK. THIS DRAWING IS NOT TO BE SCALED.	COPYRIGHT:	ISSUED FOR - REVISION:	SEAL:		ARCHITECT:	PROJECT:	ORIGINAL SCALE:	TITLE:	SURVEYED BY:
		ARCHITECT REF. #:	PROJECT NO:	DATE:	AS SHOWN	LEGENDS, DRAWING LIST, DETAILS & SCHEDULES	CS				
300, Saint-Antoine St. Montreal QC H4C 1A9 T. 514 867-9122	CEPEO ADMINISTRATIVE BUILDING KEMPTVILLE, ONTARIO AC ADDITION	211-06664-00	2020/10/06	IF THIS BAR IS NOT 1cm LONG, ADJUST YOUR PLOTTING SCALE.	SHEET NUMBER:	DRAWN BY:					
www.figure.ca	ARCHITECT:	PROJECT NO:	DATE:	1cm 1cm 1cm	M001	AS					
300-2611 QUEENSWAY DRIVE OTTAWA ONTARIO CANADA K2B 8K2 TEL: 1-613-829-2800 FAX: 1-613-829-8299 WWW.WSP.COM	ARCHITECT REF. #:	PROJECT NO:	DATE:	SHEET #	1 of 13	CS					
190 Somerset St W #206 Ottawa ON K2P 6J4 T. 613 698-9122	ARCHITECT REF. #:	PROJECT NO:	DATE:	DISCIPLINE:	MECHANICAL	CHECKED BY:					
25 June 2021	ARCHITECT REF. #:	PROJECT NO:	DATE:	ISSUE:	ISSUED FOR PERMIT/TENDER	CS					
A.N. SRIVASTAVA	ARCHITECT REF. #:	PROJECT NO:	DATE:	REV #	0	DATE OF:					
PROVINCE OF ONTARIO	ARCHITECT REF. #:	PROJECT NO:	DATE:	SHEET #	1 of 13	DATE OF:					
2021/06/30	ARCHITECT REF. #:	PROJECT NO:	DATE:	SHEET #	1 of 13	DATE OF:					
2021/06/11	ARCHITECT REF. #:	PROJECT NO:	DATE:	SHEET #	1 of 13	DATE OF:					
ISSUED FOR PERMIT/TENDER	ARCHITECT REF. #:	PROJECT NO:	DATE:	SHEET #	1 of 13	DATE OF:					
ISSUED FOR REVIEW	ARCHITECT REF. #:	PROJECT NO:	DATE:	SHEET #	1 of 13	DATE OF:					
DATE DESCRIPTION	ARCHITECT REF. #:	PROJECT NO:	DATE:	SHEET #	1 of 13	DATE OF:					

### HOT WATER RADIATOR SCHEDULE

STATUS	TAG	QTY.	TYPE	BASIS OF DESIGN		HEIGHT (MM)	ROWS	SPACING (FINS/IN)	CAPACITY (KW/M)	LENGTH (MM)	TOTAL CAPACITY (KW)	FLUID				REMARKS	
				MANUFACTURER	MODEL							TYPE	FLOW (L/S)	PRESSURE DROP (PA)	E.F.T. (°C)		L.F.T. (°C)
EXISTING	RAD-1	1	FIN/TUBE	ZEHNDER RITTLING	3/4 C-4-1/4 X 4-1/4 - 48	610	3	157	0.985	914	0.900	50% PROPYLENE GLYCOL	0.019	188.1	60.0	48.9	1
EXISTING	RAD-2	2	FIN/TUBE	ZEHNDER RITTLING	3/4 C-4-1/4 X 4-1/4 - 48	610	2	157	0.836	1219	1.019	50% PROPYLENE GLYCOL	0.022	167.2	60.0	48.9	1
EXISTING	RAD-3	5	FIN/TUBE	ZEHNDER RITTLING	3/4 C-4-1/4 X 4-1/4 - 48	610	2	157	0.836	1524	1.274	50% PROPYLENE GLYCOL	0.027	209.0	60.0	48.9	1
EXISTING	RAD-4	1	FIN/TUBE	ZEHNDER RITTLING	3/4 C-4-1/4 X 4-1/4 - 48	610	3	157	0.985	1524	1.501	50% PROPYLENE GLYCOL	0.032	313.5	60.0	48.9	1
EXISTING	RAD-5	4	FIN/TUBE	ZEHNDER RITTLING	3/4 C-4-1/4 X 4-1/4 - 48	610	2	157	0.836	1829	1.529	50% PROPYLENE GLYCOL	0.033	250.8	60.0	48.9	1
EXISTING	RAD-6	4	FIN/TUBE	ZEHNDER RITTLING	3/4 C-4-1/4 X 4-1/4 - 48	610	2	157	0.836	2134	1.784	50% PROPYLENE GLYCOL	0.038	292.6	60.0	48.9	1
EXISTING	RAD-7	1	FIN/TUBE	ZEHNDER RITTLING	3/4 C-4-1/4 X 4-1/4 - 48	610	2	157	0.836	2743	2.293	50% PROPYLENE GLYCOL	0.049	378.2	60.0	48.9	1
NEW	RAD-8	1	FIN/TUBE	ZEHNDER RITTLING	3/4 C-4-1/4 X 4-1/4 - 48	610	2	157	0.836	3214	3.045	50% PROPYLENE GLYCOL	0.066	418.0	60.0	48.9	1
EXISTING	RAD-9	2	FIN/TUBE	ZEHNDER RITTLING	3/4 C-4-1/4 X 4-1/4 - 48	610	2	157	0.836	3658	3.058	50% PROPYLENE GLYCOL	0.066	501.6	60.0	48.9	1
EXISTING	RAD-10	1	FIN/TUBE	ZEHNDER RITTLING	3/4 C-4-1/4 X 4-1/4 - 48	610	2	157	0.836	4572	3.822	50% PROPYLENE GLYCOL	0.082	627.0	60.0	48.9	1
NEW	RAD-11	1	FIN/TUBE	ZEHNDER RITTLING	3/4 C-4-1/4 X 4-1/4 - 48	610	3	157	0.985	3262	3.010	50% PROPYLENE GLYCOL	0.065	1003.2	60.0	48.9	1
NEW	RAD-12	1	FIN/TUBE	ZEHNDER RITTLING	3/4 C-4-1/4 X 4-1/4 - 48	610	2	157	0.836	6096	5.096	50% PROPYLENE GLYCOL	0.110	836.0	60.0	48.9	1

1. COLOUR CHOICE BY ARCHITECT. SUPPLY AND INSTALL ALL NECESSARY ACCESSORIES REQUIRED FOR INSTALLATION AND SERVICING OF RADIATORS.

### HOT WATER RADIANT PANEL SCHEDULE

STATUS	TAG	QTY.	TYPE	BASIS OF DESIGN		PANEL LENGTH (MM)	PANEL WIDTH (MM)	NO. OF PANELS	PANEL CAPACITY (KW)	TOTAL CAPACITY (KW)	FLUID				REMARKS	
				MANUFACTURER	MODEL						TYPE	FLOW (L/S)	PRESSURE DROP (PA)	E.F.T. (°C)		L.F.T. (°C)
EXISTING	RP-1	2	PANEL	ZEHNDER RITTLING	LRCP	1219	610	1	0.250	0.250	50% PROPYLENE GLYCOL	0.005	334.4	60.0	48.9	REFER TO ARCHITECTURAL DRAWINGS FOR FINISH COLOR
NEW	RP-2	1	PANEL	ZEHNDER RITTLING	LRCP	1219	610	7	0.250	1.75	50% PROPYLENE GLYCOL	0.038	2341	60.0	48.9	REFER TO ARCHITECTURAL DRAWINGS FOR FINISH COLOR
NEW	RP-3	1	PANEL	ZEHNDER RITTLING	LRCP	1219	610	3	0.250	0.75	50% PROPYLENE GLYCOL	0.015	1003	60.0	48.9	REFER TO ARCHITECTURAL DRAWINGS FOR FINISH COLOR
NEW	RP-4	1	PANEL	ZEHNDER RITTLING	LRCP	1219	610	3	0.250	0.75	50% PROPYLENE GLYCOL	0.015	1003	60.0	48.9	REFER TO ARCHITECTURAL DRAWINGS FOR FINISH COLOR

1. COLOUR CHOICE BY ARCHITECT. SUPPLY AND INSTALL ALL NECESSARY ACCESSORIES REQUIRED FOR INSTALLATION AND SERVICING OF RADIATORS.

### HEAT PUMP SCHEDULE

STATUS	TAG	SERVICE	OUTDOOR UNIT	LOCATION	MAKE	MODEL	HEATING CAPACITY												VOLTAGE	WATTS	EMER. POWER	STARTER	DISCONNECT	NOTES
							AIRSIDE		CAPACITY		COOLING		TOTAL		HEATING		TOTAL							
							FLOW (CFM)	INCHES (S)	RENS. CAP. (MBH)	MBH	I.A.T. DB (°F)	O.A.T. DB (°F)	I.A.T. WB (°F)	O.A.T. WB (°F)	TOTAL HEAT (MBH)	I.A.T. DB (°F)	O.A.T. DB (°F)	O.A.T. WB (°F)						
EXISTING	HP-IT-1	BASEMENT	HP-IT-OU	IT Server Room 001.1	LG	ARNU123SBL4	336	-	9.840	12.300	80.6	67.0	95.0	75.2	13.600	70.0	47.0	43.0	208/60/1	21.0	NO	NO	YES	1.2,3
EXISTING	HP-IT-2	BASEMENT	HP-IT-OU	IT SERVER ROOM 001.1	LG	ARNU123SBL4	336	-	9.840	12.300	80.6	67.0	95.0	75.2	13.600	70.0	47.0	43.0	208/60/1	21.0	NO	NO	YES	1.3
NEW	HP-1	BASEMENT	OU-1	CLASSROOM 001	LG	ARNU183SKA4	441	-	15280	19,100	80.6	67.0	95.0	75.2	21,500	70.0	47.0	43.0	208/60/1	53.0	NO	NO	YES	1.3,4,5
NEW	HP-2	BASEMENT	OU-1	CLASSROOM 001	LG	ARNU183SKA5	441	-	15280	19,100	80.6	67.0	95.0	75.2	21,500	70.0	47.0	43.0	208/60/1	53.0	NO	NO	YES	1.3,4,5
NEW	HP-3	BASEMENT	OU-1	PREP ROOM 011.5	LG	ARNU093SJA4	290	-	7680	9,600	80.6	67.0	95.0	75.2	10,900	70.0	47.0	43.0	208/60/1	30.0	NO	NO	YES	1.3,4
NEW	HP-4	BASEMENT	OU-1	CLASSROOM 002	LG	ARNU183SKA5	441	-	15280	19,100	80.6	67.0	95.0	75.2	21,500	70.0	47.0	43.0	208/60/1	53.0	NO	NO	YES	1.3,4,5
NEW	HP-5	BASEMENT	OU-1	CLASSROOM 002	LG	ARNU183SKA5	441	-	15280	19,100	80.6	67.0	95.0	75.2	21,500	70.0	47.0	43.0	208/60/1	53.0	NO	NO	YES	1.3,4,5
NEW	HP-6	BASEMENT	OU-1	STAFF ROOM 006	LG	ARNU123SJA4	336	-	9840	12,300	80.6	67.0	95.0	75.2	13,600	70.0	47.0	43.0	208/60/1	30.0	NO	NO	YES	1.3,4
NEW	HP-7	BASEMENT	OU-1	CLASSROOM 008	LG	ARNU183SKA5	441	-	15280	19,100	80.6	67.0	95.0	75.2	21,500	70.0	47.0	43.0	208/60/1	53.0	NO	NO	YES	1.3,4,5
NEW	HP-8	BASEMENT	OU-1	CLASSROOM 008	LG	ARNU183SKA5	441	-	15280	19,100	80.6	67.0	95.0	75.2	21,500	70.0	47.0	43.0	208/60/1	53.0	NO	NO	YES	1.3,4,5
NEW	HP-9	BASEMENT	OU-1	LOCKERS ROOM 005	LG	ARNU093SJA4	290	-	7680	9,600	80.6	67.0	95.0	75.2	10,900	70.0	47.0	43.0	208/60/1	30.0	NO	NO	YES	1.3,4
NEW	HP-10	GROUND FLOOR	OU-2	CLASSROOM 108	LG	ARNU183SKA5	441	-	15280	19,100	80.6	67.0	95.0	75.2	21,500	70.0	47.0	43.0	208/60/1	53.0	NO	NO	YES	1.3,4,5
NEW	HP-11	GROUND FLOOR	OU-2	CLASSROOM 108	LG	ARNU183SKA5	441	-	15280	19,100	80.6	67.0	95.0	75.2	21,500	70.0	47.0	43.0	208/60/1	53.0	NO	NO	YES	1.3,4,5
NEW	HP-12	GROUND FLOOR	OU-2	OFFICE 106	LG	ARNU093SJA4	290	-	7680	9,600	80.6	67.0	95.0	75.2	10,900	70.0	47.0	43.0	208/60/1	30.0	NO	NO	YES	1.3,4
NEW	HP-13	GROUND FLOOR	OU-2	OFFICE COOP 109.2	LG	ARNU053SJA4	230	-	4400	5,500	80.6	67.0	95.0	75.2	6,100	70.0	47.0	43.0	208/60/1	30.0	NO	NO	YES	1.3,4
NEW	HP-14	GROUND FLOOR	OU-2	OFFICE 109.1	LG	ARNU053SJA4	230	-	4400	5,500	80.6	67.0	95.0	75.2	6,100	70.0	47.0	43.0	208/60/1	30.0	NO	NO	YES	1.3,4
NEW	HP-15	GROUND FLOOR	OU-2	OFFICE 109	LG	ARNU093SJA4	290	-	7680	9,600	80.6	67.0	95.0	75.2	10,900	70.0	47.0	43.0	208/60/1	30.0	NO	NO	YES	1.3,4
NEW	HP-16	GROUND FLOOR	OU-2	OFFICE 109.3	LG	ARNU053SJA4	230	-	4400	5,500	80.6	67.0	95.0	75.2	6,100	70.0	47.0	43.0	208/60/1	30.0	NO	NO	YES	1.3,4
NEW	HP-17	GROUND FLOOR	OU-2	CENTRE RESSITE 107	LG	ARNU093SJA4	290	-	7680	9,600	80.6	67.0	95.0	75.2	10,900	70.0	47.0	43.0	208/60/1	30.0	NO	NO	YES	1.3,4
NEW	HP-18	GROUND FLOOR	OU-2	PRINTING 105	LG	ARNU073SJA4	247	-	6000	7,500	80.6	67.0	95.0	75.2	8,500	70.0	47.0	43.0	208/60/1	30.0	NO	NO	YES	1.3,4
NEW	HP-19	GROUND FLOOR	OU-2	ADMINISTRATO N 103	LG	ARNU093SJA4	290	-	7680	9,600	80.6	67.0	95.0	75.2	10,900	70.0	47.0	43.0	208/60/1	30.0	NO	NO	YES	1.3,4
NEW	HP-20	GROUND FLOOR	OU-2	CLASSROOM 101	LG	ARNU243SKA4	494	-	19360	24,200	80.6	67.0	95.0	75.2	27,300	70.0	47.0	43.0	208/60/1	53.0	NO	NO	YES	1.3,4,5
NEW	HP-21	GROUND FLOOR	OU-2	CLASSROOM 101	LG	ARNU243SKA4	494	-	19360	24,200	80.6	67.0	95.0	75.2	27,300	70.0	47.0	43.0	208/60/1	53.0	NO	NO	YES	1.3,4,5
NEW	HP-22	GROUND FLOOR	OU-2	CLASSROOM 102	LG	ARNU243SKA4	494	-	19360	24,200	80.6	67.0	95.0	75.2	27,300	70.0	47.0	43.0	208/60/1	53.0	NO	NO	YES	1.3,4,5
NEW	HP-23	GROUND FLOOR	OU-2	CLASSROOM 102	LG	ARNU243SKA4	494	-	19360	24,200	80.6	67.0	95.0	75.2	27,300	70.0	47.0	43.0	208/60/1	53.0	NO	NO	YES	1.3,4,5
NEW	HP-24	GROUND FLOOR	OU-2	TS 104	LG	ARNU123SJA4	336	-	9840	12,300	80.6	67.0	95.0	75.2	13,600	70.0	47.0	43.0	208/60/1	30.0	NO	NO	YES	1.3,4
NEW	HP-25	SECOND FLOOR	OU-3	CLASSROOM 201	LG	ARNU243SKA4	494	-	19360	24,200	80.6	67.0	95.0	75.2	27,300	70.0	47.0	43.0	208/60/1	53.0	NO	NO	YES	1.3,4,5
NEW	HP-26	SECOND FLOOR	OU-3	CLASSROOM 201	LG	ARNU243SKA4	494	-	19360	24,200	80.6	67.0	95.0	75.2	27,300	70.0	47.0	43.0	208/60/1	53.0	NO	NO	YES	1.3,4,5
NEW	HP-27	SECOND FLOOR	OU-3	OFFICE 203	LG	ARNU153SJA4	371	-	15280	15,400	80.6	67.0	95.0	75.2	17,100	70.0	47.0	43.0	208/60/1	30.0	NO	NO	YES	1.3,4
NEW	HP-28	SECOND FLOOR	OU-4	CLASSROOM 202	LG	ARNU183SKA5	441	-	15280	19,100	80.6	67.0	95.0	75.2	21,500	70.0	47.0	43.0	208/60/1	53.0	NO	NO	YES	1.3,4,5
NEW	HP-29	SECOND FLOOR	OU-4	CLASSROOM 202	LG	ARNU183SKA5	441	-	15280	19,100	80.6	67.0	95.0	75.2	21,500	70.0	47.0	43.0	208/60/1	53.0	NO	NO	YES	1.3,4,5
NEW	HP-30	SECOND FLOOR	OU-4	PREP 204	LG	ARNU153SJA4	371	-	12320	15,400	80.6	67.0	95.0	75.2	17,100	70.0	47.0	43.0	208/60/1	30.0	NO	NO	YES	1.3,4
NEW	HP-31	SECOND FLOOR	OU-4	MEETING ROOM 205	LG	ARNU243SKA4	494	-	19360	24,200	80.6	67.0	95.0	75.2	27,300	70.0	47.0	43.0	208/60/1	53.0	NO	NO	YES	1.3,4
NEW	HP-32	SECOND FLOOR	OU-4	PREP 207.1	LG	ARNU093SJA4	290	-	7680	9,600	80.6	67.0	95.0	75.2	10,900	70.0	47.0	43.0	208/60/1	30.0	NO	NO	YES	1.3,4
NEW	HP-33	SECOND FLOOR	OU-4	CLASSROOM ENVIRONMENT 209	LG	ARNU183SKA5	441	-	15280	19,100	80.6	67.0	95.0	75.2	21,500	70.0	47.0	43.0	208/60/1	53.0	NO	NO	YES	1.3,4,5
NEW	HP-34	SECOND FLOOR	OU-4	CLASSROOM ENVIRONMENT 209	LG	ARNU183SKA5	441	-	15280	19,100	80.6	67.0	95.0	75.2	21,500	70.0	47.0	43.0	208/60/1	53.0	NO	NO	YES	1.3,4,5
NEW	HP-35	SECOND FLOOR	OU-3	CLASSROOM ARTS 208	LG	ARNU183SKA5	441	-	15280	19,1														

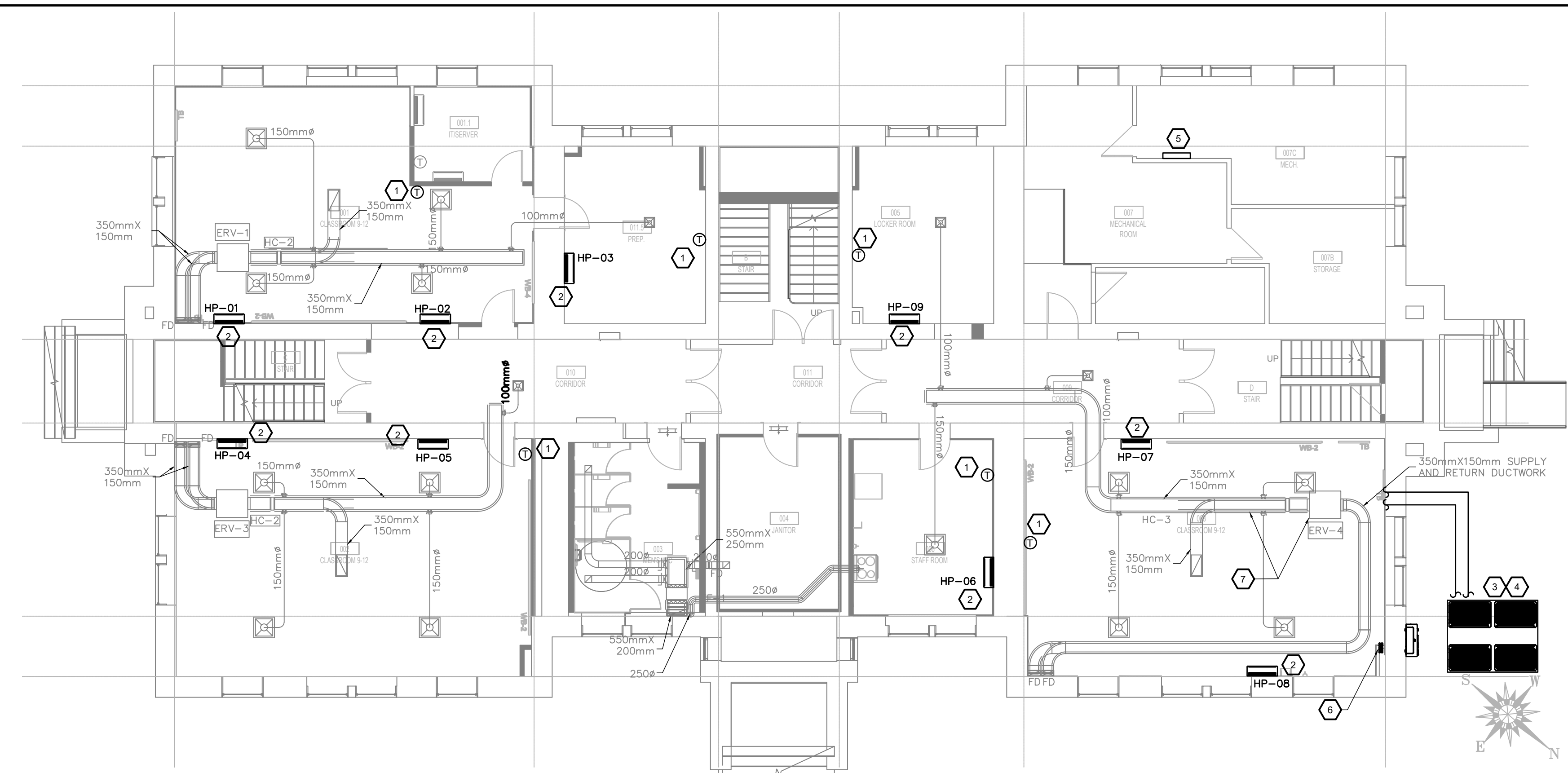
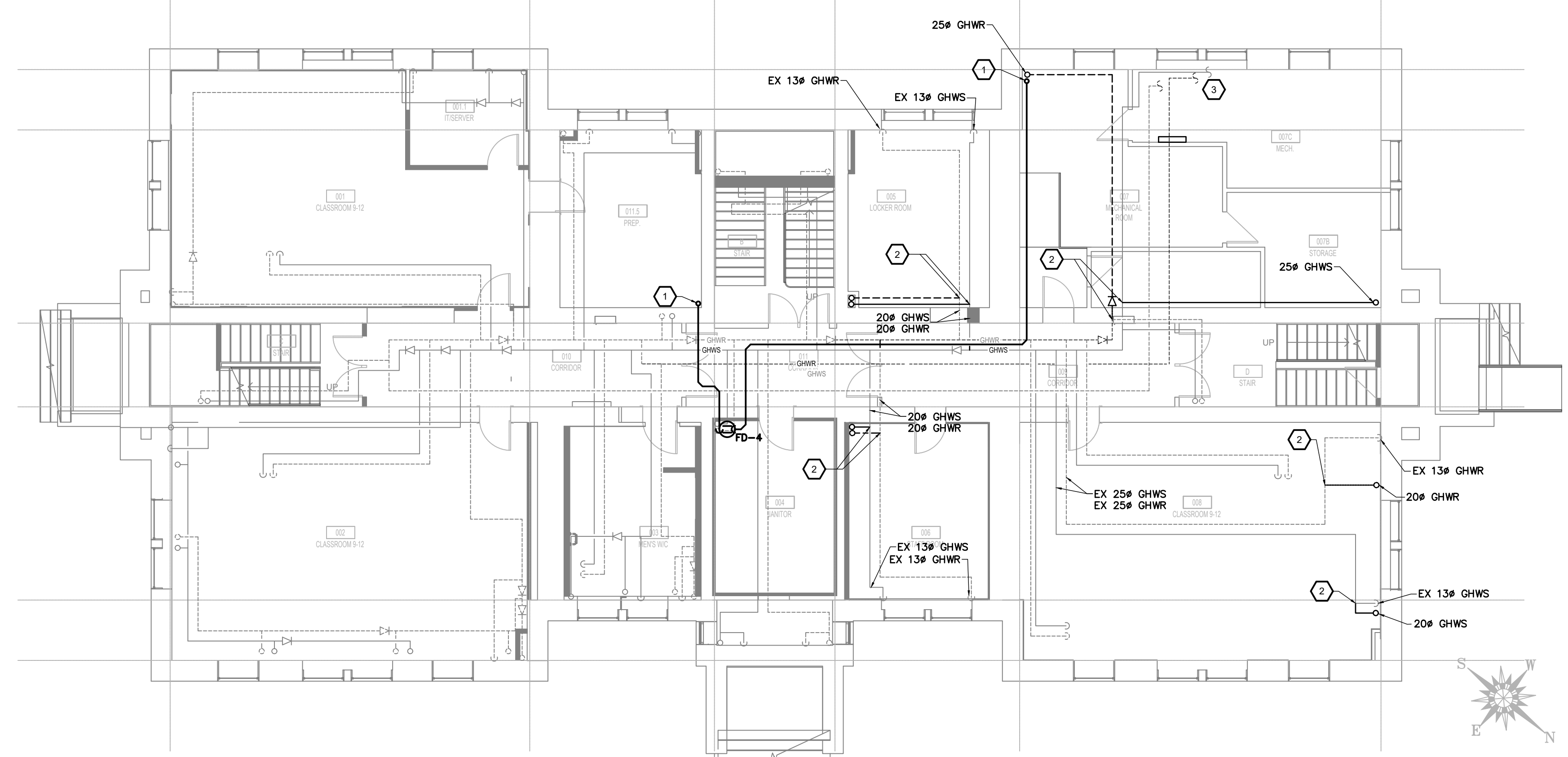


**1 BASEMENT FLOOR -- HYDRONIC/PLUMBING**  
 M-300 1:100

- DRAWING NOTES--HYDRONIC/PLUMBING**
- 1 HEAT PUMP CONDENSATE FROM FLOORS ABOVE. COMBINE WITH HEAT PUMPS CONDENSATE PIPING INSTALLED IN BASEMENT AND DRAIN TO EXISTING FUNNEL FLOOR DRAIN IN JANITOR ROOM.
  - 2 CONNECT NEW GHWS AND GHWR FOR THE HOT WATER RADIATORS LOCATED ON THE GROUND FLOOR TO THE EXISTING GHWS AND GHWR MAINS.
  - 3 EXISTING MAIN GHWS AND GHWR PIPING TO THE EXISTING HEAT EXCHANGER.

**2 BASEMENT FLOOR -- VENTILATION**  
 M-300 1:100

- DRAWING NOTES - HVAC**
- 1 TEMPERATURE SENSOR SHALL BE LOCATED ON TELECOM BUILD-OUT. COORDINATE LOCATION WITH ELECTRICAL AND ARCHITECTURAL DRAWINGS.
  - 2 SUPPLY AND INSTALL NEW WALL MOUNTED DUCTLESS HEATPUMP UNIT COMPLETE WITH ALL REQUIRED MOUNTING HARDWARE, CONTROLS WIRING, TEMPERATURE SENSOR, CONDENSATE PUMP, REFRIGERANT PIPING, AND ACCESSORIES. INSTALL HEAT PUMP AT HIGH LEVEL CLEAR OF ANY OBSTACLES THAT WILL HINDER THE SUPPLY AIRFLOW. INSTALL CONDENSATE PIPE IN PAINTED CONDUITS ABOVE T-BAR CEILING TO JANITOR ROOM LOCATED IN THE BASEMENT. EXACT ROUTING TO BE CONFIRMED ON SITE. SIZE CONDENSATE PIPING AS PER MANUFACTURER RECOMMENDATION.
  - 3 SUPPLY AND INSTALL NEW OUTDOOR CONDENSING UNIT ON SEISMIC RATED STAND SECURED TO THE NEW CONCRETE PAD. CONDENSER UNITS SHALL BE COMPLETE WITH ALL REQUIRED EQUIPMENT SEISMIC STANDS AND MOUNTING HARDWARE, CONTROLS WIRING, REFRIGERANT PIPING, REFRIGERANT PUMPS AND ACCESSORIES. INSTALL AS PER MANUFACTURER'S DESIGN AND INSTALLATION RECOMMENDATIONS AND REQUIREMENTS. ALLOW MINIMUM CLEARANCE REQUIREMENTS AS REQUIRED BY THE MANUFACTURER.
  - 4 EXTEND EXISTING 1800X1800MM CONCRETE PAD TO 2750X2200MM (BASED ON LG SYSTEM) TO SUIT NEW OUTDOOR UNITS. FINAL DIMENSIONS TO BE CONFIRMED WITH EQUIPMENT MANUFACTURER INSTALLATION REQUIREMENTS AND LOCAL CODE REQUIREMENTS.
  - 5 SUPPLY AND INSTALL MAIN CONTROLLER FOR THE VRF SYSTEM. THE MAIN CONTROLLER COMMUNICATES WITH ALL THE HEAT PUMP AND THE CONDENSER UNITS OUTSIDE.
  - 6 SUCTION AND LIQUID RISERS FOR THE HEAT PUMPS FOR GROUND AND 2 FLOOR. RISERS TO BE LOCATED IN A DEDICATED SHAFT WITH A NOTE ON THE OUTSIDE WALL SURFACE MENTIONING NOT TO DRILL ANY HOLES ON THE SHAFT WALL.
  - 7 EXISTING DUCTWORK, EQUIPMENT SHOWN IN LIGHT LINE TYPE ARE SHOWN FOR REFERENCE ONLY. TYPICAL FOR ALL.



OWNER: Conseil des écoles publiques de l'Est de l'Ontario

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G		2021/06/11	ISSUED FOR REVIEW

ARCHITECT: ARCHITECT REF. #:

PROJECT: **CEPEO ADMINISTRATIVE BUILDING KEMPTVILLE, ONTARIO AC ADDITION**

ARCHITECT: **figurr**  
 3600, Saint-Antoine G.  
 Montreal QC H4C 1A9  
 T: 514 867-9122  
 www.figurr.ca

PROJECT NO: **211-06664-00** DATE: **2020/10/06**

ORIGINAL SCALE: **AS SHOWN**

IF THIS BAR IS NOT 1cm LONG, ADJUST YOUR PLOTTING SCALE.

TITLE: **BASEMENT FLOOR HVAC, HYDRONICS AND PLUMBING NEW WORK**

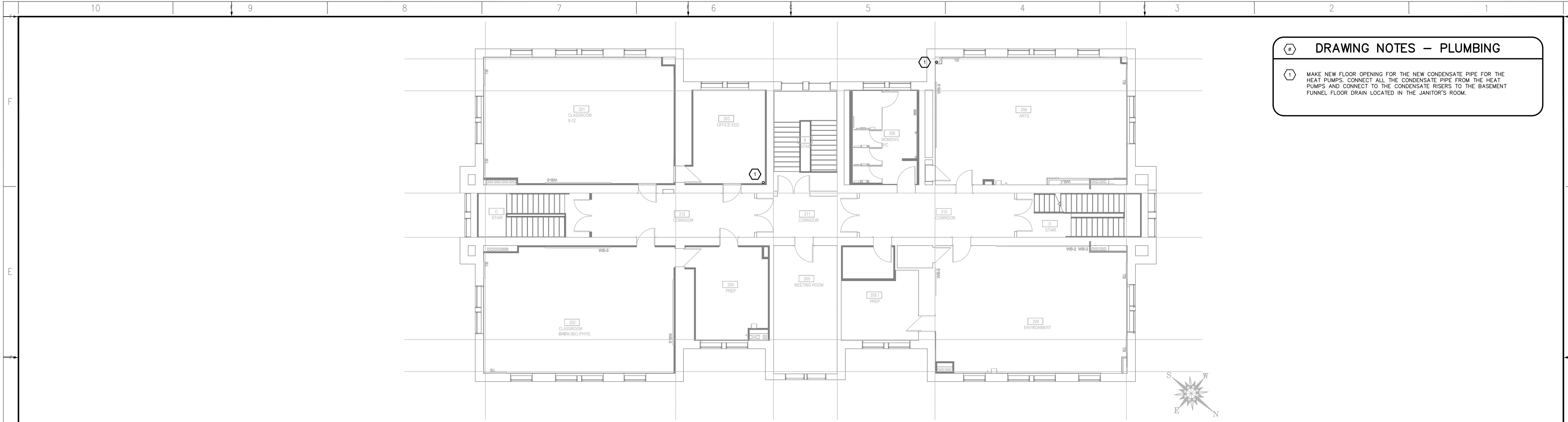
SHEET NUMBER: **M-300**  
 9 of 13

ISSUED FOR PERMIT/TENDER  
 DATE OF: **2021/06/25**

REVISION: **0**

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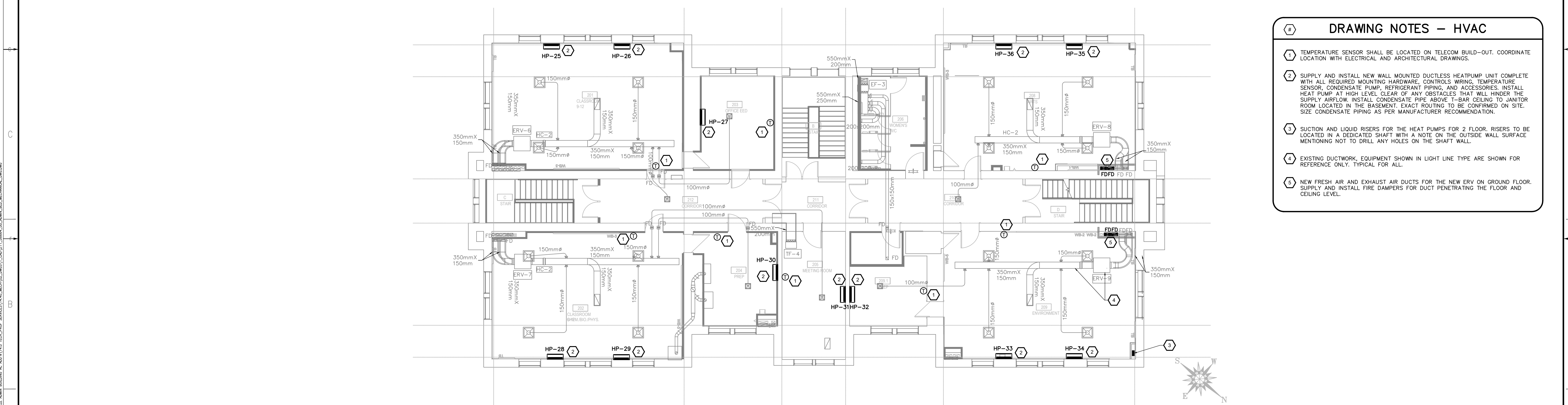




**1 SECOND FLOOR - PLUMBING**  
 M - 302 1:100  
 0 1m 2m 3m 5m

**DRAWING NOTES - PLUMBING**

1 MAKE NEW FLOOR OPENING FOR THE NEW CONDENSATE PIPE FOR THE HEAT PUMPS. CONNECT ALL THE CONDENSATE PIPE FROM THE HEAT PUMPS AND CONNECT TO THE CONDENSATE RISERS TO THE BASEMENT FUNNEL FLOOR DRAIN LOCATED IN THE JANITOR'S ROOM.



**2 SECOND FLOOR - VENTILATION**  
 M - 302 1:100  
 0 1m 2m 3m 5m

**DRAWING NOTES - HVAC**

1 TEMPERATURE SENSOR SHALL BE LOCATED ON TELECOM BUILD-OUT. COORDINATE LOCATION WITH ELECTRICAL AND ARCHITECTURAL DRAWINGS.

2 SUPPLY AND INSTALL NEW WALL MOUNTED DUCTLESS HEATPUMP UNIT COMPLETE WITH ALL REQUIRED MOUNTING HARDWARE, CONTROLS WIRING, TEMPERATURE SENSOR, CONDENSATE PUMP, REFRIGERANT PIPING, AND ACCESSORIES. INSTALL HEAT PUMP AT HIGH LEVEL CLEAR OF ANY OBSTACLES THAT WILL HINDER THE SUPPLY AIRFLOW. INSTALL CONDENSATE PIPE ABOVE T-BAR CEILING TO JANITOR ROOM LOCATED IN THE BASEMENT. EXACT ROUTING TO BE CONFIRMED ON SITE. SIZE CONDENSATE PIPING AS PER MANUFACTURER RECOMMENDATION.

3 SUCTION AND LIQUID RISERS FOR THE HEAT PUMPS FOR 2 FLOOR. RISERS TO BE LOCATED IN A DEDICATED SHAFT WITH A NOTE ON THE OUTSIDE WALL SURFACE MENTIONING NOT TO DRILL ANY HOLES ON THE SHAFT WALL.

4 EXISTING DUCTWORK, EQUIPMENT SHOWN IN LIGHT LINE TYPE ARE SHOWN FOR REFERENCE ONLY. TYPICAL FOR ALL.

5 NEW FRESH AIR AND EXHAUST AIR DUCTS FOR THE NEW ERV ON GROUND FLOOR. SUPPLY AND INSTALL FIRE DAMPERS FOR DUCT PENETRATING THE FLOOR AND CEILING LEVEL.

PROJ: \COURTNEY\PROJECTS\PROJECTS\2021\PROJECTS\11-06664-00-CEPEO KEMPTVILLE ADMIN BUILDING AC ADDN\14.00 MECH\02.DWG(1) CAD\311.DWG(1) 00.0000.BIM.MECH\02.DWG



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**ARCHITECT:**  
 figuri  
 3600, Saint-Antoine O.  
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 www.figuri.ca

**PROJECT:**  
 CEPEO  
 ADMINISTRATIVE BUILDING  
 KEMPTVILLE, ONTARIO  
 AC ADDITION

**ARCHITECT REF. #:**

**PROJECT NO:**  
 211-06664-00

**DATE:**  
 2020/10/06

**ORIGINAL SCALE:**  
 AS SHOWN

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**TITLE:**  
 SECOND FLOOR  
 HVAC AND PLUMBING NEW WORK

**SURVEYED BY:**  
 CS

**DRAWN BY:**  
 AS

**CHECKED BY:**  
 CS

**DISCIPLINE:**  
 MECHANICAL

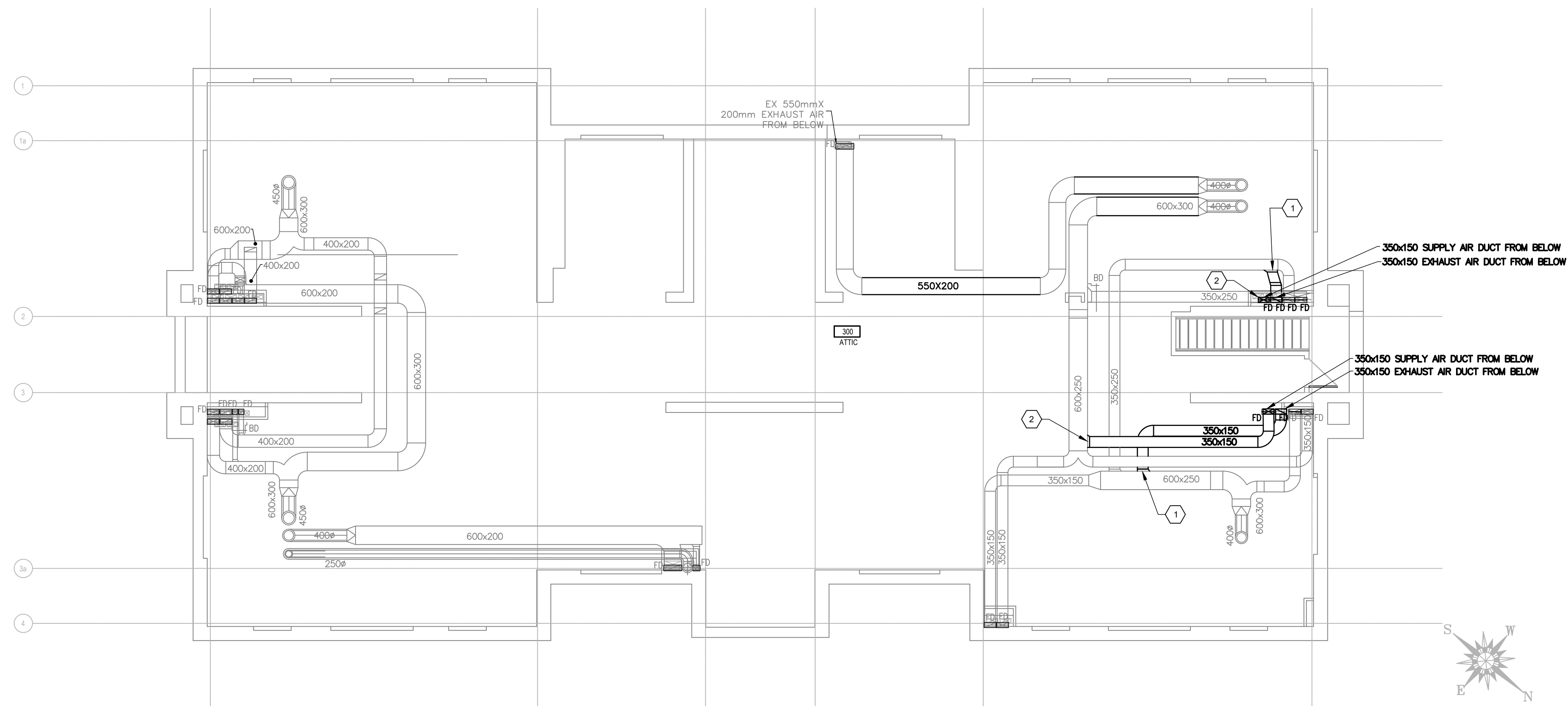
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**DATE OF:** 2021/06/25

**REV #**  
 0

**SHEET NUMBER:**  
 M - 302  
 11 of 13

**DATE OF:** 2021/06/25



- DRAWING NOTES – HVAC**
- 1 CONNECT NEW EXHAUST AIR DUCT TO THE EXISTING EXHAUST AIR DUCT. EXACT ROUTING AND CONNECTION POINT TO BE VERIFIED ON SITE BASED ON EXISTING CONDITION.
  - 2 CONNECT NEW FRESH AIR DUCT TO THE EXISTING FRESH AIR DUCT. EXACT ROUTING AND CONNECTION POINT TO BE VERIFIED BASED ON SITE BASED ON EXISTING CONDITION.

**1 ATTIC – VENTILATION**  
 M-303 1:100

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IS	RE	DATE	DESCRIPTION
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**SEAL:**

**ARCHITECT:**

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fig. 2  
 190 Somerset St W #206  
 Ottawa ON K2P 6J4  
 T. 613 995-6122

**ARCHITECT REF. #:**



**PROJECT:**

CEPEO  
 ADMINISTRATIVE BUILDING  
 KEMPTVILLE, ONTARIO  
 AC ADDITION

**PROJECT NO.:** 211-06664-00

**DATE:** 2020/10/06

**WSP**

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 TEL.: 1-613-829-2800  
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 WWW.WSP.COM

**ORIGINAL SCALE:**  
 AS SHOWN

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**TITLE:**

ATTIC FLOOR  
 HVAC NEW WORK

**SHEET NUMBER:**  
 M-303  
 12 of 13

**SURVEYED BY:** CS

**DRAWN BY:** AS

**CHECKED BY:** CS

**DISCIPLINE:** MECHANICAL

**ISSUE:** ISSUED FOR PERMIT/TENDER

**DATE OF:** 2021/06/25

**REV #:** 0

DRAWING LIST	
E-1	LEGEND, DRAWING LIST AND GENERAL NOTES
E-2	BASEMENT FLOOR PLAN: ELECTRICAL –NEW WORK
E-3	GROUND FLOOR PLAN: ELECTRICAL –NEW WORK
E-4	SECOND FLOOR PLAN: ELECTRICAL –NEW WORK
E-5	SINGLE LINE DIAGRAM AND EQUIPMENT SCHEDULE
E-6	PANEL SCHEDULES

### GENERAL NOTES:

- EXCEPT ELECTRICAL POWER PROVISIONS FOR NEW HVAC, ALL DEVICES ARE EXISTING UNLESS OTHERWISE NOTED. REFER TO DRAWING GENERAL AND SPECIFIC NOTES FOR RELOCATION OF EXISTING DEVICES.
- MAINTAIN EXISTING CIRCUITS AND ALL SYSTEMS WHICH PASS THROUGH ALL AREAS OF RECONSTRUCTION. ALL NEW MATERIALS ARE CONSOLIDATED WITH CONSTRUCTION IS COMPLETED.
- REINSTATE ALL EXISTING SYSTEMS IMMEDIATELY THAT ARE INTERRUPTED DURING CONSTRUCTION. PROVIDE MATERIALS AND LABOUR AS NECESSARY TO MAINTAIN SYSTEMS THAT ARE INTERRUPTED.
- COORDINATE ELECTRICAL RELOCATION (DISCONNECTIONS AND REPAIRS) WITH MECHANICAL CONTRACTOR. PROVIDE ALL NECESSARY ELECTRICAL RELOCATION CONDUIT FITTERS AND CONTROL CONDUITS BACK TO SOURCE, AND MAKE SURE ALL SYSTEMS ARE PROTECTED FROM SHORTS OR OVERHEATING OF THE EXISTING REBUILDING CONDUIT AND WIRING.
- ALL EXISTING ELECTRICAL DEVICES IN THE AREA ARE TO REMAIN UNLESS OTHERWISE NOTED.
- JUNCTION BOX COVERS TO HAVE CIRCUITS IDENTIFIED IN INDELEIBLE BLACK INK.
- WORK SHALL BE COORDINATED WITH MECHANICAL TRADES.
- ALL WORK TO BE PERFORMED DURING SCHOOL HOURS. ELECTRICAL CONTRACTOR SHALL ALLOW FOR WEEKEND AND AFTER HOURS WORK PERIODS, WHEN REQUESTED BY CLIENT.
- DEMO/DEMOLITION OF CONSTRUCTION PHASE OF CONTRACT FOR RECONSTRUCTION PURPOSES. ALLOW FOR ALL REQUIRED SHUTDOWNS TO BE PERFORMED OUTSIDE OF NORMAL SCHOOL HOURS. SHUTDOWN OF SYSTEMS TO BE RE-ENERGIZED AND FULLY OPERATIONAL DURING SCHOOL HOURS.
- ELECTRICAL CONTRACTOR SHALL REPLACE ALL CEILING CEILING TILES THAT WERE DAMAGED DURING ELECTRICAL INSTALLATION.
- THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE DURING THE TENDER PERIOD TO BECOME FAMILIAR WITH THE SITE.
- PROVIDE CUTTING, PATCHING AND CORING OF ALL WALLS, FLOORS AND OTHER SURFACES AS REQUIRED TO FIT THE ELECTRICAL AND MECHANICAL EQUIPMENT. ALL REPAIRS SHALL BE APPROVED BY THE ARCHITECT AND THE ELECTRICAL CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ARCHITECT AND THE ELECTRICAL CONTRACTOR BEFORE ANY WORK IS COMMENCED. ALL REPAIRS SHALL BE COMPLETED AND APPROVED BY THE ARCHITECT AND THE ELECTRICAL CONTRACTOR BEFORE ANY WORK IS COMMENCED.
- ALL MECHANICAL EQUIPMENT SHALL BE REMOVED, PACKED AND SHIPPED TO THE CONTRACTOR'S STORAGE YARD. ALL MECHANICAL EQUIPMENT SHALL BE REINSTALLED AND REWIRING SHALL BE COMPLETED AND APPROVED BY THE ARCHITECT AND THE ELECTRICAL CONTRACTOR BEFORE ANY WORK IS COMMENCED.

SENSOR SWITCH SCHEDULE						
TYPE	MANUFACTURER	CATALOGUE NUMBER	LOCATION	MOUNTING	REMARKS	
1	WALL MOUNTED OCCUPANCY SENSOR DIMMER SWITCH	EQAL TO WATTSIPPER DM-311	SEE PLAN	WALL	DUAL TECHNOLOGY, PULSE INHIBITED/ULTRASONIC C/W PROGRAMMABLE	
2	OCCUPANCY SENSOR	EQAL TO WATTSIPPER LMC-100	SEE PLAN	CEILING	DIGITAL SENSOR WITH LED DISPLAY AND PROGRAMMING PUSHBUTTON	
3	DAYLIGHT HAWKING SENSOR	EQAL TO WATTSIPPER LMS-500	SEE PLAN	CEILING	DAYLIGHT RESPONSE (ON/OFF, BUILT-IN REVERSE) TO LIGHTING ZONES	
4	DIMMER SWITCH	EQAL TO WATTSIPPER LDM-101	SEE PLAN	WALL	DIMMING WALL SWITCH W/ LED INDICATOR AND B COMMUNICATIONS	
5	SCENE SELECTOR SWITCH	EQAL TO WATTSIPPER LDM-105	SEE PLAN	WALL	SCENE SWITCH	
6	DIMMING CONTROLLER	EQAL TO WATTSIPPER LMC-112	SEE PLAN	CEILING	TO BE INSTALLED IN CEILING OR ABOVE	

POWER	
SYMBOL	DESCRIPTION
1	SINGLE RECEPTACLE, TYPE AS INDICATED
2	SINGLE RECEPTACLE, 120V, 20A
3	QUADREX/EX RECEPTACLE UNDER COMMON COVERPLATE
4	DUPLEX RECEPTACLE, 120V, 15A, INSTALLED AT 12' A.F.F.
5	DUPLEX RECEPTACLE - OVER COUNTER, 120V, 15A
6	TRIP DUPLEX RECEPTACLE, 120V, 15A, INSTALLED AT 12' A.F.F.
7	DUPLEX RECEPTACLE - OVER COUNTER, ON TYPE SPECIAL RECEPTACLE, VOLT & AMP AS INDICATED
8	SPECIAL RECEPTACLE - OVER COUNTER, VOLT & AMP AS INDICATED
9	DIRECT CONNECTION TO EQUIPMENT
10	GROUND (0=DOUBLE FACE CLOCK)
11	OUTLET BOX
12	CONTRACTOR
13	RECESSED PANEL
14	DISCONNECT SWITCH
15	MANUAL MOTOR STARTER
16	MAGNETIC MOTOR STARTER
17	COMBINATION MAGNETIC STARTER
18	SPLITTER
19	MOTOR - REFER TO MOTOR CONTROL SCHEDULE AND TO MECHANICAL DRAWING FOR LOCATION
20	TRANSFORMER
21	ELECTRIC FORCE FLOOR HEATER
22	CONDUIT STEEP IN CEILING SPACE

FIRE ALARM	
SYMBOL	DESCRIPTION
1	PULL STATION, INSTALLED AT 47.25" (1200mm) A.F.F.
2	FIRE ALARM BELL, INSTALLED AT 8' A.F.F.
3	FIRE ALARM MINI-HORN, INSTALLED AT 8' A.F.F.
4	WALL MOUNTED STROBE LIGHT, INSTALLED AT 8' A.F.F.
5	SMOKE DETECTOR
6	COMBINATION SMOKE/HEAT DETECTOR 57C RATE OF RISE AT 12' A.F.F.
7	SMOKE ALARM
8	FIRE ALARM MAGNETIC DOOR HOLDER
9	FIRE ALARM ANNUNCIATOR
10	FIRE ALARM CONTROL PANEL
11	COMBINATION HORN STROBE LIGHT

SECURITY	
SYMBOL	DESCRIPTION
1	SECURITY DOOR CONTACT
2	SECURITY CCTV CAMERA
3	CARD READER
4	ELECTRIC STRIKE

NOTE: ELECTRICAL CONTRACTOR TO PROVIDE CONDUITS AND BACKBOXES ONLY, CABLING AND PROVISION OF SECURITY DEVICES TO BE BY GENTO CONTRACTOR.

ABBREVIATIONS	
SYMBOL	DESCRIPTION
C	CEILING MOUNTED
H	MOUNTED AT HIGH LEVEL
S	SURFACE MOUNTED
ST	STONE TOP
RG	RANGE
MW	MICROWAVE
DW	DISHWASHER
DR	DRYER
WS	WASHER
CF	MOUNTED FLUSH ON TOP OF COUNTER
F	FLOOR MOUNTED
W	WALL MOUNTED
TP	TAPERED

COMMUNICATIONS	
SYMBOL	DESCRIPTION
1	VOICE OUTLET
2	VOICE OUTLET - OVER COUNTER
3	VOICE OUTLET - WALL MOUNTED
4	DATA OUTLET
5	DATA OUTLET - OVER COUNTER
6	VOICE/DATA OUTLET
7	INTERCOM OUTLET
8	SPEAKER, CEILING MOUNTED
9	CABLEVISION OUTLET
10	WASHROOM ASSIST PUSH BUTTON OR PULL CORO
11	PRODUCER

NOTE: ELECTRICAL CONTRACTOR TO PROVIDE CONDUITS AND BACKBOXES ONLY, CABLING AND PROVISION OF COMMUNICATIONS DEVICES TO BE BY GENTO CONTRACTOR.

SWITCHING	
SYMBOL	DESCRIPTION
1	SINGLE POLE TOGGLE SWITCH, INSTALLED AT 40" A.F.F.
2	THREE-WAY TOGGLE SWITCH, INSTALLED AT 40" A.F.F.
3	GANGED SWITCHES, INSTALLED AT 40" A.F.F.
4	LOCATION SENSOR SWITCH, WALL TYPE, INSTALLED AT 40" A.F.F.
5	OCCUPANCY SENSOR, CEILING MOUNTED

LIGHTING	
SYMBOL	DESCRIPTION
1	LIGHTING FIXTURE, CEILING MOUNTED
2	LIGHTING FIXTURE, CEILING MOUNTED
3	LIGHTING FIXTURE, WALL MOUNTED
4	EXIT SIGN C/W DIRECTIONAL ARROWS, CEILING MOUNTED
5	EXIT SIGN C/W DIRECTIONAL ARROWS, WALL MOUNTED
6	EMERGENCY BATTERY PACK C/W HEADS AS INDICATED
7	REMOTE SENSIT/DOUBLE DM LITE HEADS, CEILING MTD
8	REMOTE SENSIT/DOUBLE DM LITE HEADS, WALL MTD

LINENWORK LEGEND:	
SYMBOL	DESCRIPTION
N	SYMBOLS WITH SUFFIX 'N' INDICATES EXISTING EQUIPMENT OR OUTLETS REMOVED & RE-INSTALLED IN NEW LOCATIONS
R	SYMBOLS WITH SUFFIX 'R' INDICATES EXISTING EQUIPMENT OR OUTLETS TO BE REMOVED & RE-INSTALLED IN SAME LOCATIONS
RR	SYMBOLS WITH SUFFIX 'RR' INDICATES EXISTING EQUIPMENT OR OUTLETS TO BE REMOVED & REOCCUPIED IN NEW LOCATIONS
	EXCEPT AS NOTED OTHERWISE, ALL EXISTING EQUIPMENT TO REMAIN IS SHOWN IN THIN SOLID LINES
	EXCEPT AS NOTED OTHERWISE, ALL EXISTING EQUIPMENT TO BE REMOVED IS SHOWN IN THIN SOLID LINES
	EXCEPT AS NOTED OTHERWISE, ALL NEW EQUIPMENT IS SHOWN IN THICK SOLID LINES

NO.	REVISION	DATE	DESCRIPTION
A	ISSUED FOR PERMIT/TENDER	2021/06/11	
B	ISSUED FOR PERMIT/TENDER	2021/06/30	

CONTRACTOR: ISSUED FOR PERMIT/TENDER



PROJECT: 300-2611 QUEENSWAY DRIVE, OTTAWA, ONTARIO CANADA, K2B 9K2  
 TEL: 1-613-823-2800  
 FAX: 1-613-823-2839  
 WWW.FIGURI.COM

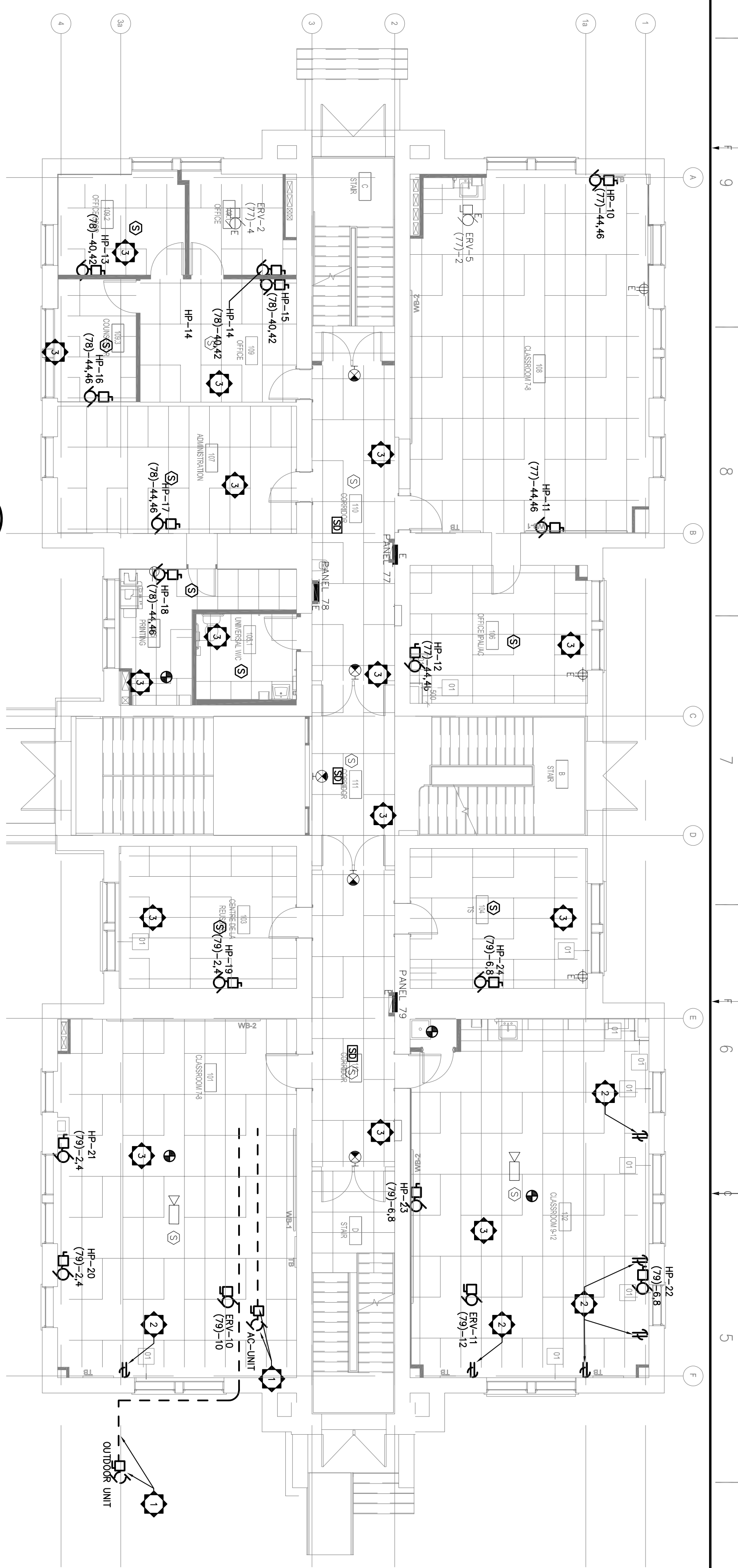
PROJECT NO: 211-0664-00  
 DATE: 2021/06/30

PROJECT: CEPERO ADMINISTRATIVE BUILDING, KEMPVILLE, ONTARIO AC ADDITION

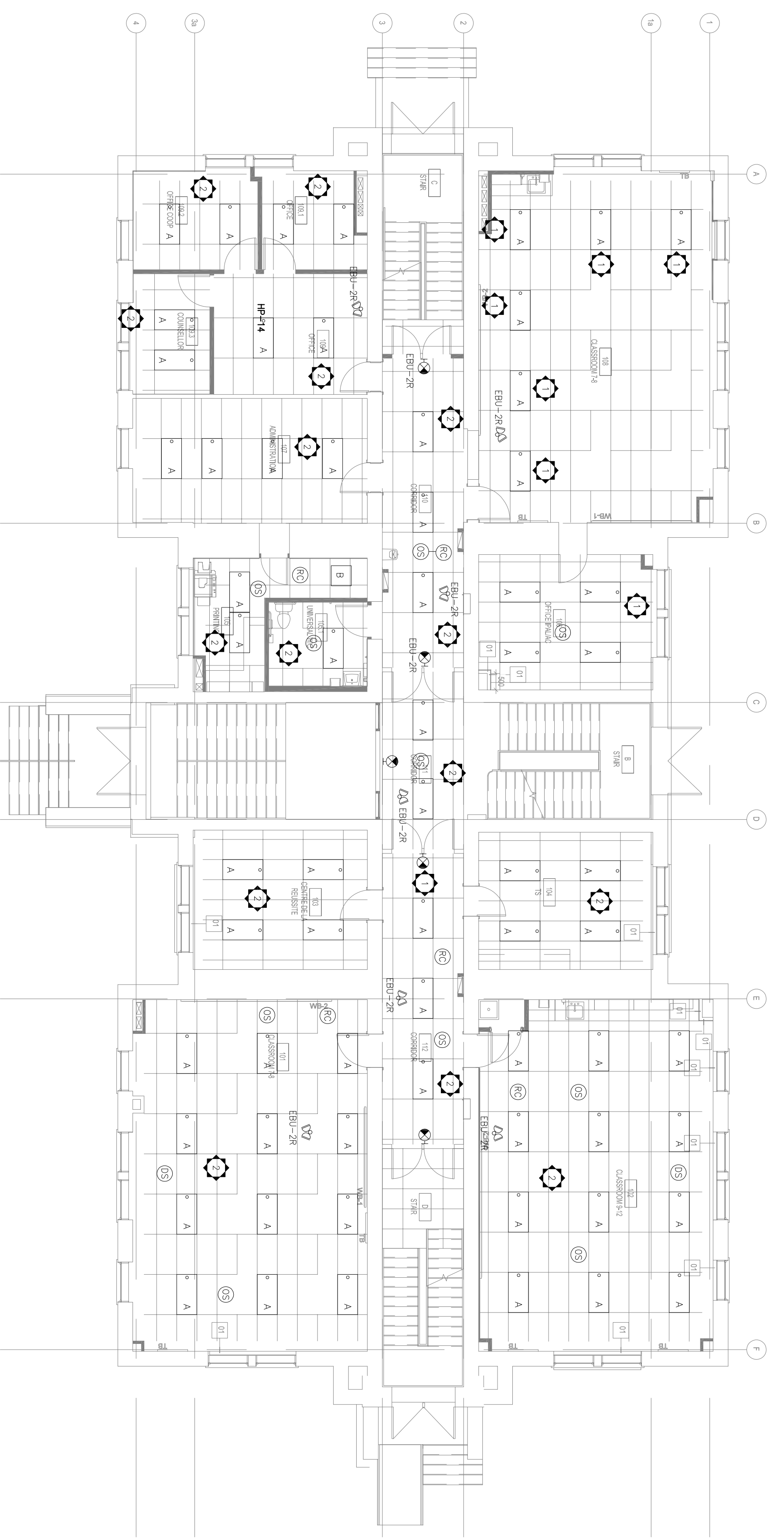
AS SHOWN  
 1cm 1cm 1cm  
 1cm 1cm 1cm

LEGEND, DRAWING LIST AND GENERAL NOTES	
DATE	ISSUED FOR PERMIT/TENDER
2021/06/20	0





**1** GROUND FLOOR PLAN: POWER – NEW WORK  
E-3 1:100



**2** GROUND FLOOR PLAN: LIGHTING – NEW WORK  
E-3 1:100

**GENERAL NOTES:**

- REFER TO DRAWING E-1 FOR LEGEND.
- ALL LIGHTING AND POWER CEILING DEVICES ARE EXISTING. REMOVE AND REINSTATE DEVICES AS SHOWN ON LAYOUTS.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH MECHANICAL DRAWINGS FOR FINAL LOCATIONS OF NEW MECHANICAL EQUIPMENT PRIOR TO ELECTRICAL ROLLOUTS.
- REFER TO SINGLE LINE DIAGRAM, EQUIPMENT SCHEDULE AND PANEL SCHEDULE FOR ALL OTHER ELECTRICAL REQUIREMENTS.

**POWER NOTES:**

- DISCONNECT AND DEMOLISH THE EXISTING POWER CONNECTIONS INCLUDING ALL CONDUIT, TRAYS AND ASSOCIATED TO EXISTING MOTOR, AC UNIT AND OUTDOOR CONDENSING UNIT.
- DISCONNECT AND REMOVE EXISTING POWER RECEPTACLE AND PROVIDE STAINLESS STEEL COVERPLATE. PULL CIRCUIT BACK TO NEAREST JUNCTION BOX IN CEILING SPACE AND MAKE SAFE.
- REMOVE AND REINSTATE ALL CEILING DEVICES IN THIS ROOM DUE TO CONSTRUCTION OF NEW HVAC DUCTS. COORDINATE WITH ARCHITECT'S AND MECHANICAL DRAWINGS PRIOR TO REMOVALS AND REINSTALLATIONS.

**LIGHTING NOTES:**

- REMOVE AND RE-INSTATE EXISTING DEVICE AT SAME LOCATION TO ACCOMMODATE CONSTRUCTION OF NEW HVAC DUCT. COORDINATE WITH ARCHITECT'S AND MECHANICAL DRAWINGS PRIOR TO REMOVALS AND REINSTALLATIONS.
- REMOVE AND REINSTATE ALL CEILING DEVICES IN THIS ROOM DUE TO CONSTRUCTION OF NEW HVAC DUCTS. COORDINATE WITH ARCHITECT'S AND MECHANICAL DRAWINGS PRIOR TO REMOVALS AND REINSTALLATIONS.



CONTRACTOR: ISSUED FOR PERMIT/TENDER  
 CONTRACTOR: ISSUED FOR PERMIT/TENDER  
 CONTRACTOR: ISSUED FOR PERMIT/TENDER

IS	RE	DATE	DESCRIPTION
A		2021/06/30	ISSUED FOR PERMIT/TENDER
B		2021/06/11	ISSUED FOR REVIEW



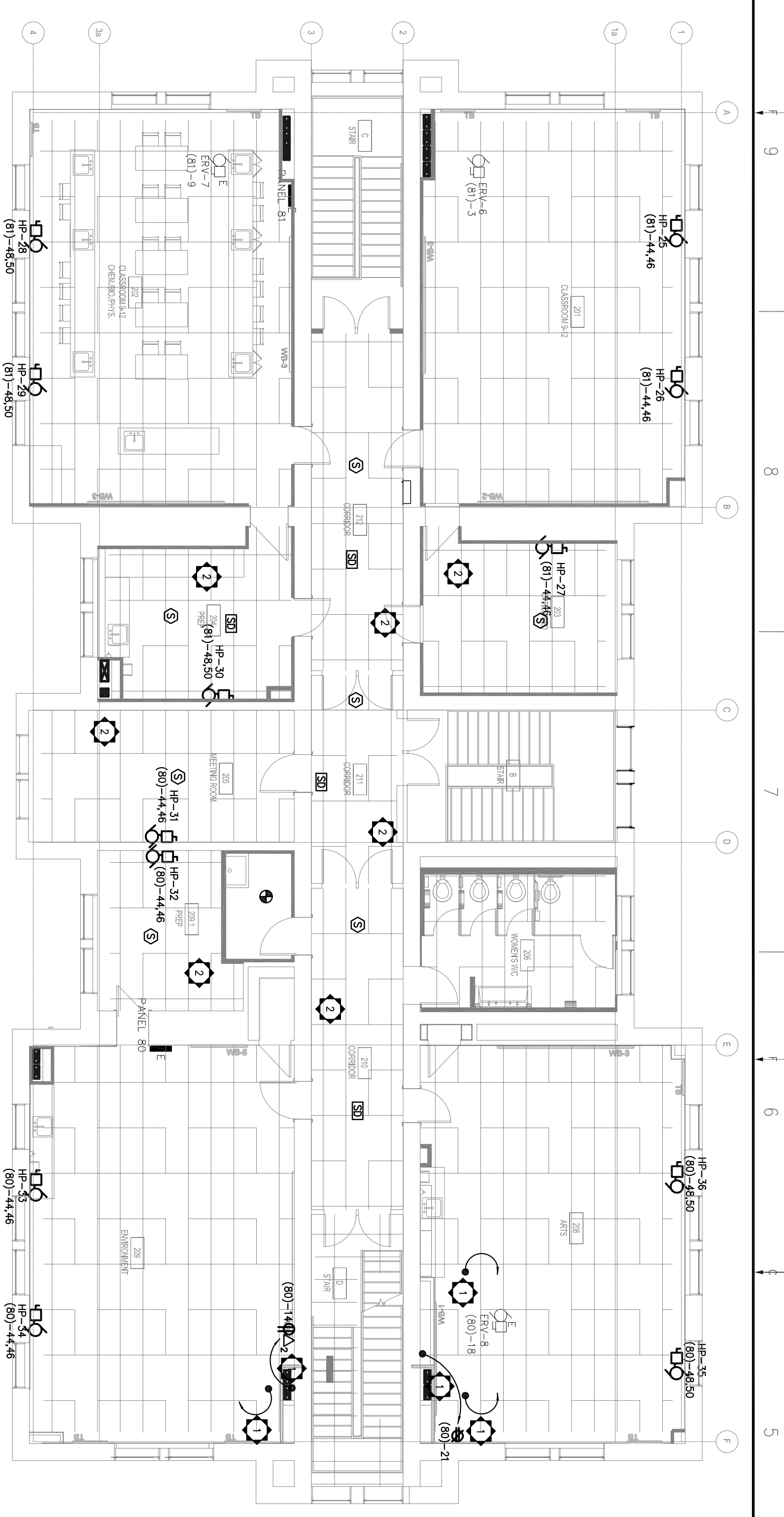
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 DATE: 2021/06/30



**1** SECOND FLOOR PLAN: POWER - NEW WORK  
E-4 1:100

**GENERAL NOTES:**

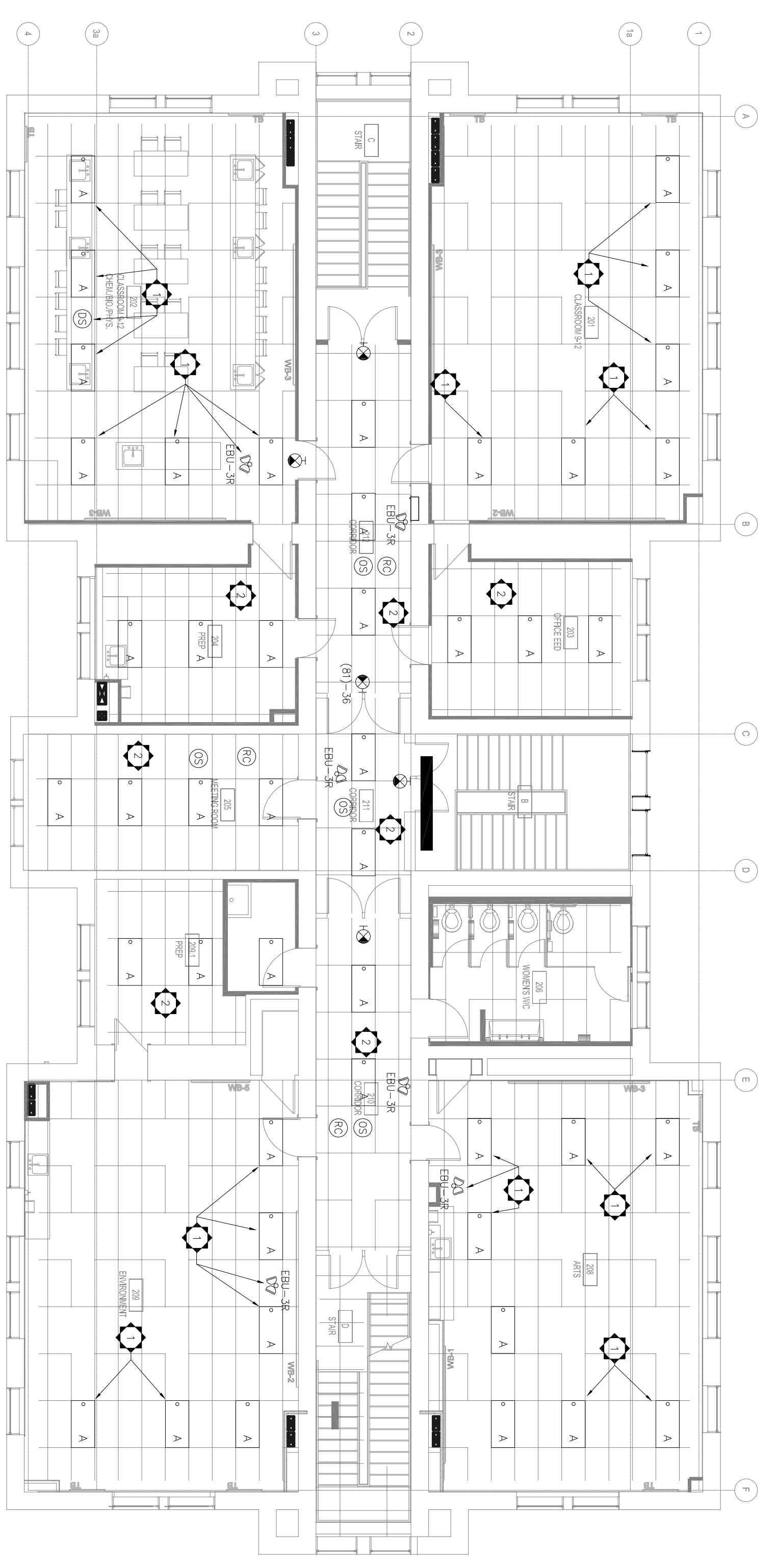
- REFER TO DRAWING E-1 FOR LEGEND.
- ALL LIGHTING AND POWER CEILING DEVICES ARE EXISTING. REMOVE AND REINSTATE DEVICES AS SHOWN ON LAYOUTS.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH MECHANICAL DRAWINGS FOR FINAL LOCATIONS OF NEW MECHANICAL EQUIPMENT PRIOR TO ELECTRICAL REROOFINGS.
- REFER TO SINGLE LINE DIAGRAM, EQUIPMENT SCHEDULE AND PANEL SCHEDULE FOR ALL OTHER ELECTRICAL REQUIREMENTS.

**SPECIFIC NOTES:**

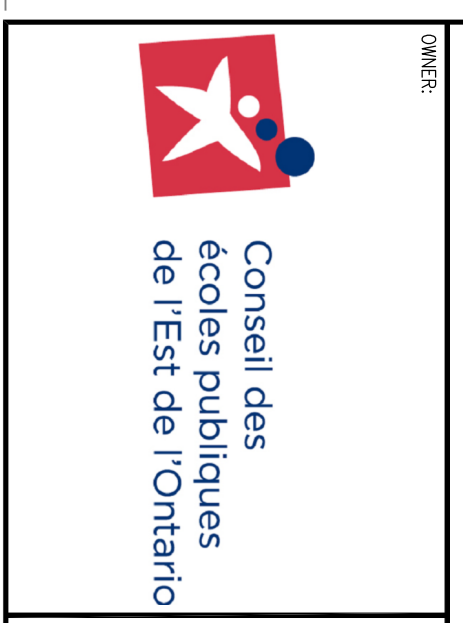
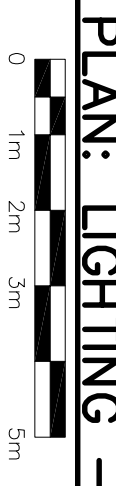
- RELOCATE ELECTRICAL DEVICE TO NEW LOCATION SHOWN DUE TO CONSTRUCTION OF NEW HVAC SHAFT. EXTEND EXISTING CONDUIT/CIRCUIT TO SUIT.
- REMOVE AND REINSTATE ALL CEILING DEVICES IN THIS ROOM DUE TO CONSTRUCTION OF NEW HVAC DUCTS. COORDINATE WITH ARCHITECT'S AND MECHANICAL DRAWINGS PRIOR TO REMOVALS AND REINSTALLATIONS.

**LIGHTING NOTES:**

- REMOVE AND RE-INSTATE EXISTING DEVICE AT SAME LOCATION TO ACCOMMODATE MECHANICAL DRAWINGS PRIOR TO REMOVALS AND REINSTALLATIONS.
- REMOVE AND REINSTATE ALL CEILING DEVICES IN THIS ROOM DUE TO CONSTRUCTION OF NEW HVAC DUCTS. COORDINATE WITH ARCHITECT'S AND MECHANICAL DRAWINGS PRIOR TO REMOVALS AND REINSTALLATIONS.



**2** SECOND FLOOR PLAN: LIGHTING - NEW WORK  
E-4 1:100



**CONTRACTOR:** THE SCHOOL IS COMPLETELY PROTECTED WITH SHIELDING AND ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE ELECTRICAL CODE AND ALL APPLICABLE REGULATIONS AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING WORK.

ISSUE	REVISION	DATE	DESCRIPTION
A		2021/06/11	ISSUED FOR REVIEW
B		2021/06/30	ISSUED FOR PERMIT/TENDER



**PROJECT:**  
300 Sandford Street  
Ottawa, Ontario K2P 8K2  
Tel: 1-613-823-2800  
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**PROJECT:**  
CEPEO ADMINISTRATIVE BUILDING  
KEMPVILLE, ONTARIO  
AC ADDITION

**PROJECT:**  
300-2611 QUEENSWAY DRIVE  
OTTAWA, ONTARIO CANADA K2B 8K2  
TEL: 1-613-823-2800  
FAX: 1-613-823-2299  
WWW.WSP.CO.NZ

**GENERAL SCALE:**  
AS SHOWN  
IF THE DATE IS NOT 1cm  
LONG, ADJUST YOUR  
PLOTTING SCALE.

**TITLE:**  
SECOND FLOOR PLAN  
ELECTRICAL - NEW WORK

**DESIGNED BY:** JJA  
**DRAWN BY:** JJA  
**CHECKED BY:** CM  
**OCCUPANCY:** ELECTRICAL  
**ISSUED FOR PERMIT/TENDER:** 0  
**DATE OF:** 2021/06/30



